

ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including AC (ACOUSTICAL), AD (AREA DRAIN), and others.

DRAFTING SYMBOLS

Table of drafting symbols including drawing titles, grid lines, building sections, and datum points.

PROJECT INFORMATION and DEVELOPMENT REGULATIONS table containing address (8932 1ST ST., SANTEE, CA 92071), APN (384-106-16), AC (.65 AC), SF (28,490 SF), and various zoning and density requirements.

BUILDING AREA and SITE AREA table showing townhomes (24,726 SF), drive aisle, landscape area, and garage specifications.

PARKING (MINIMUM REQUIREMENTS) PER CA DENSITY BONUS table with columns for QNTY, RATIO, CARS, MOTORCYCLES, and BIKES.



HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

THIS PROJECT INCLUDES A DENSITY BONUS ESTABLISHED PURSUANT TO SECTION 65915 ET SEQ. OF THE CALIFORNIA GOVERNMENT CODE.

Table containing INCENTIVES/WAIVERS, SCOPE OF WORK, PROJECT DATA, PROJECT TEAM, SHEET INDEX, VICINITY MAP, and a detailed list of project requirements and specifications.

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071
project title stamp

Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 868.792.5906 / f: 868.792.5916
TITLE SHEET
job no. 2134
date
8/17/2022 PRE APPLICATION SET
2/25/2023 DRP SUBMITTAL I
6/13/2023 DRP SUBMITTAL II
sheet A0-1

8932 1ST STREET, SANTEE, CA 92071
TENTATIVE MAP #TM2023-1

ASSESSORS PARCEL NUMBER
384-106-16

ENGINEER OF RECORD
PREPARED BY: PASCO, LARET, SUITER, & ASSOCIATES
1911 SAN DIEGO AVE, SUITE 100, SAN DIEGO, CA 92110
VIA TOPOGRAPHIC FIELD SURVEY
DATED: 09/29/2021

SHEET INDEX

SHEET C1.0 PRELIMINARY GRADING PLAN
SHEET C2.0 POST CONSTRUCTION BMP PLAN

TOPOGRAPHY SOURCE

PREPARED BY: PASCO, LARET, SUITER, & ASSOCIATES
1911 SAN DIEGO AVE, SUITE 100, SAN DIEGO, CA 92110
VIA TOPOGRAPHIC FIELD SURVEY
DATED: 09/29/2021

LEGAL DESCRIPTION

LOTS 1, 2, 3 IN BLOCK 10 OF SANTEE IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NUMBER 1484 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, OCTOBER 14, 1912. ALSO THAT PORTION OF THE SOUTH 15 FEET OF PARK AVENUE ADJOINING THE AFORESAID PREMISES ON THE NORTH, AS VACATED ON MARCH 6, 1917 BY RESOLUTION OF SAN DIEGO RECORDED IN BOOK 751 PAGE 31 OF DEEDS, BEING MORE PARTICULARLY DESCRIBED IN DOCUMENT NUMBER 2006-065587 O.R.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON A 3" BRASS DISC IN N+10 AS STATION 2116 SANTEE CITY CONTROL EL= 349.92 (NAD83).

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CGCS83) EPOCH 1991.35, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS 2107 AND 2116 BEING A GRID BEARING OF N 55°19'46" E AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 11252, CITY OF SANTEE SURVEY CONTROL, FILED ON 8 OCTOBER 1987 AS FILE NUMBER 87-569294 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED: 0.1XX AC (100% OF SITE)
EARTHWORK QUANTITIES:
CUT QUANTITIES: 50 CY
FILL QUANTITIES: 550 CY
MAX CUT DEPTH WITHIN BUILDING FOOTPRINT: 0.5'
MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT: 0'
MAX FILL DEPTH WITHIN BUILDING FOOTPRINT: 0.5'
MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT: 1.5'
NET IMPORT/EXPORT OF SOIL: 500 CUBIC YARDS

EARTHWORK QUANTITIES INCLUDE EXCAVATION FOR BUILDING AND SITE GRADING AS SHOWN ON THIS PLAN. THESE EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHOULD INDEPENDENTLY VERIFY THESE VALUES PRIOR TO BID AND CONSTRUCTION.

LEGEND

PROPERTY LINE

ROAD CENTERLINE

INTERNAL LOT LINE

RIGHT OF WAY

EXISTING BUILDING

EXISTING SEWER

EXISTING WATER

EXISTING GAS

EXISTING OVERHEAD ELECTRIC

EXISTING UNDERGROUND ELECTRIC

EXISTING COMM LINE

EXISTING UTILITY POLE

EXISTING ELECTRIC, COMM, OR TELECOMM BOX

EXISTING STREET LIGHT

EXISTING CONTOURS

EXISTING CURB AND GUTTER

EXISTING FENCE

EXISTING RETAINING SITE WALL

EXISTING SURVEY MONUMENT

PROPOSED 2" COPPER WATER SERVICE AND METER (PER SEPARATE ROW PERMIT) WITH WILKINS 975X2 BACKFLOW PREVENTER

PROPOSED 6" FIRE SERVICE (PER SEPARATE ROW PERMIT) WITH WILKINS 475DA RPDA

PROPOSED 6" SEWER LATERAL (PER SEPARATE ROW PERMIT)

PROPOSED STORM DRAIN

PROPOSED STORM DRAIN GRATE INLET

PROPOSED STORM DRAIN CLEANOUT

PROPOSED P.C.C. HARDSCAPE

PROPOSED 6" CURB AND GUTTER (PER SEPARATE ROW PERMIT)

PROPOSED BIOFILTRATION

A.C. GRIND AND OVERLAY ASPHALT ROADWAY

PROPOSED ASPHALT ROADWAY

LIMITS OF UTILITY TRENCHING

PROP PERMEABLE PAVERS

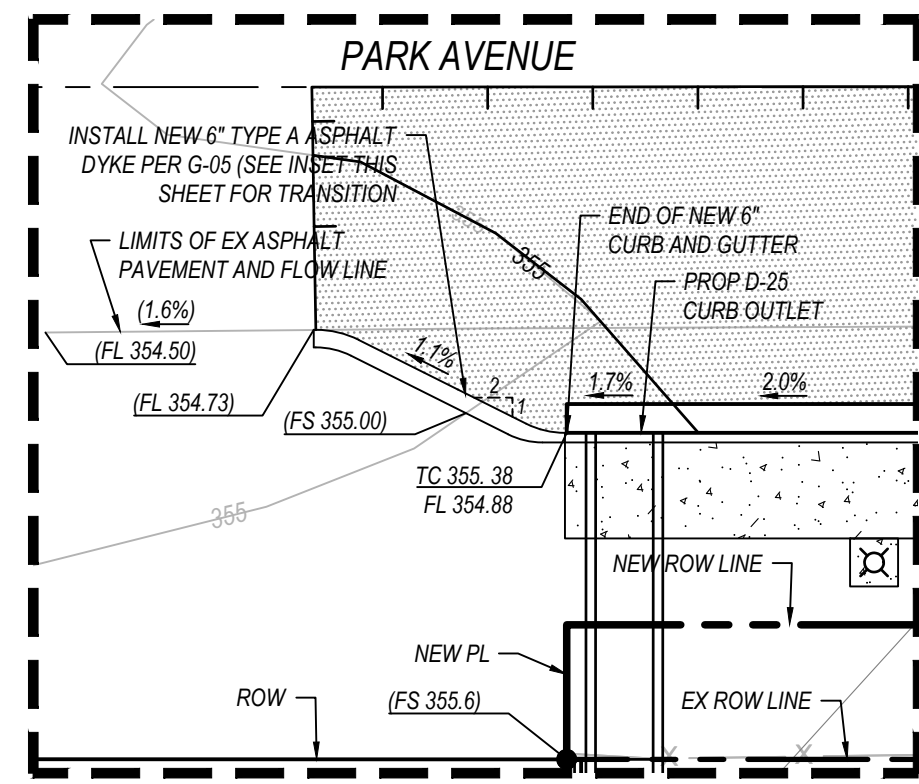
ROXANN JAMES, DIRECTOR
SAN DIEGO HABITAT FOR HUMANITY
8123 MERCURY COURT
SAN DIEGO, CA 92111

IMPERVIOUS AREA TABULATIONS

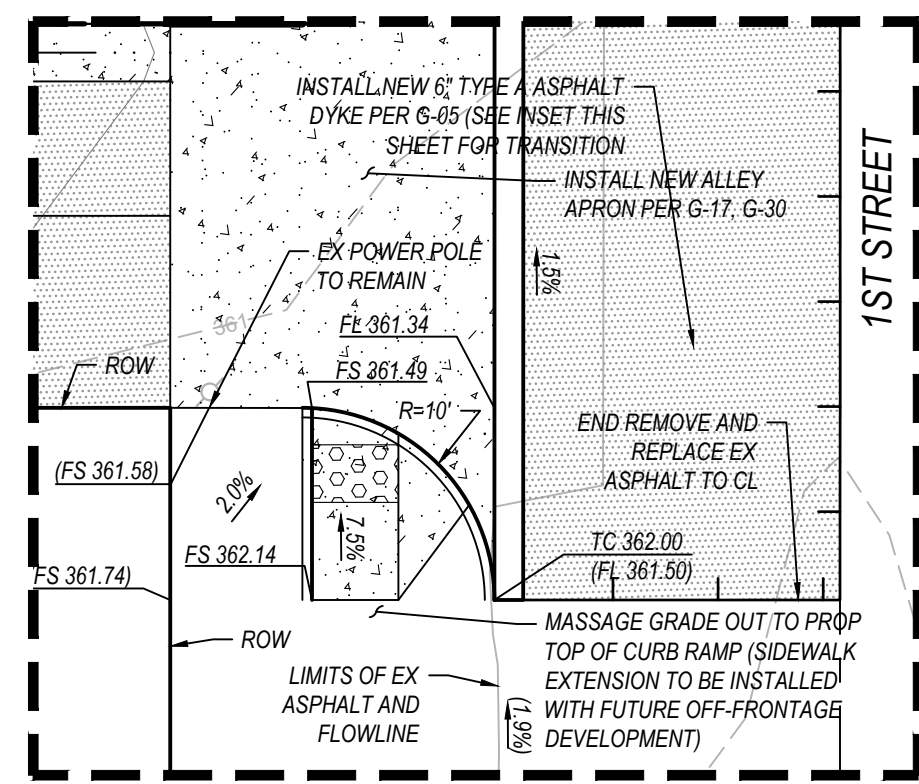
TOTAL DISTURBANCE: 0.65 ACRES (28,490 SF)
EXISTING ON SITE CONDITIONS
IMPERVIOUS AREA: 0.06 ACRES (2,654 SF)
PERVIOUS AREA: 0.59 ACRES (25,836 SF)
PROPOSED ON SITE CONDITIONS
IMPERVIOUS AREA: 0.38 ACRES (16,708 SF)
PERVIOUS AREA: 0.27 ACRES (11,782 SF)

ABBREVIATION LEGEND

FL= FLOWLINE
L= LANDSCAPED AREA
TC= TOP OF CURB
FF= FINISHED FLOOR
TW= TOP OF WALL
IE= INVERT ELEVATION
LA= LANDSCAPED AREA
(FL)= MATCH EX FL
(FS)= MATCH EX FS
(TC)= MATCH EX TC



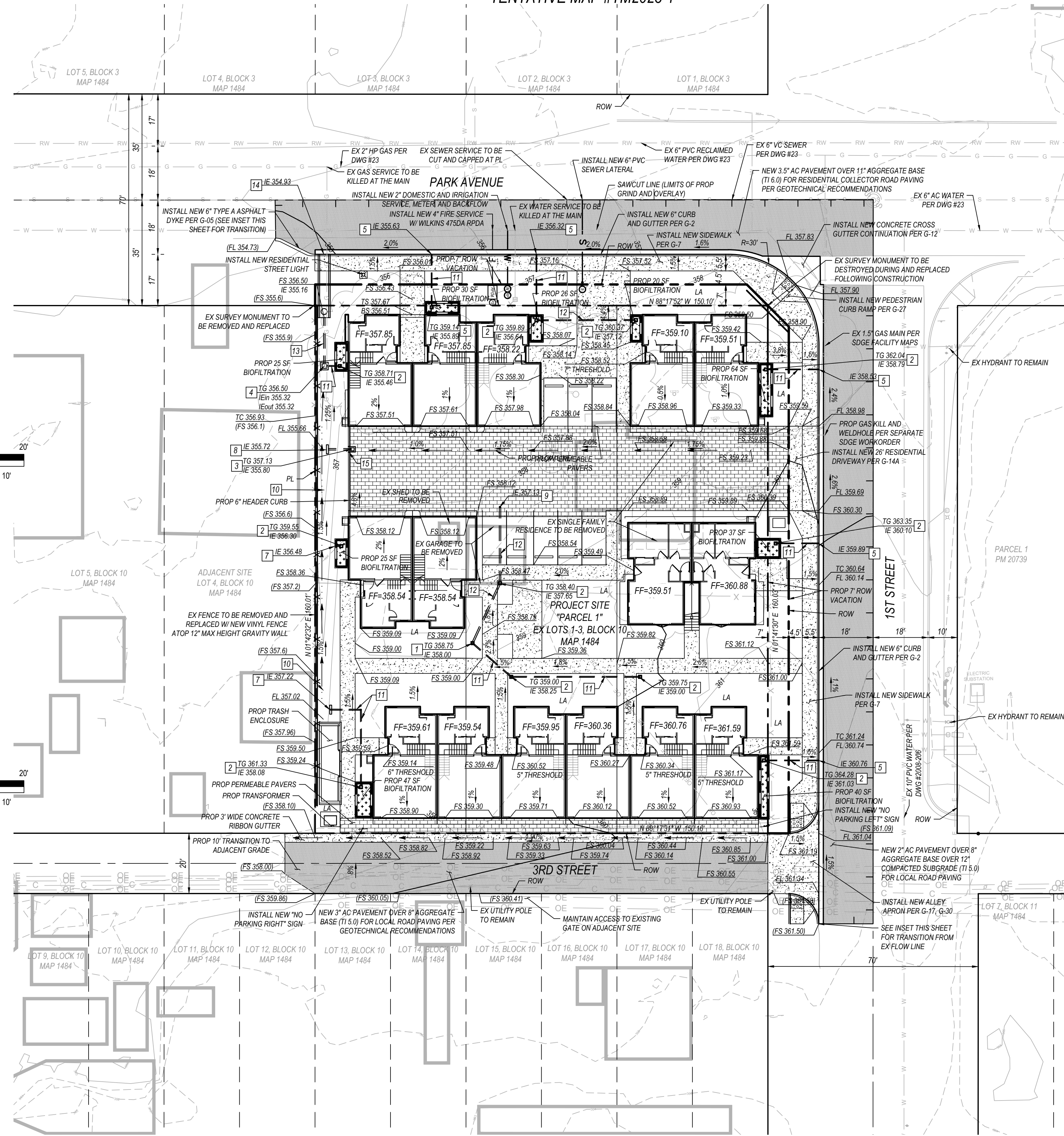
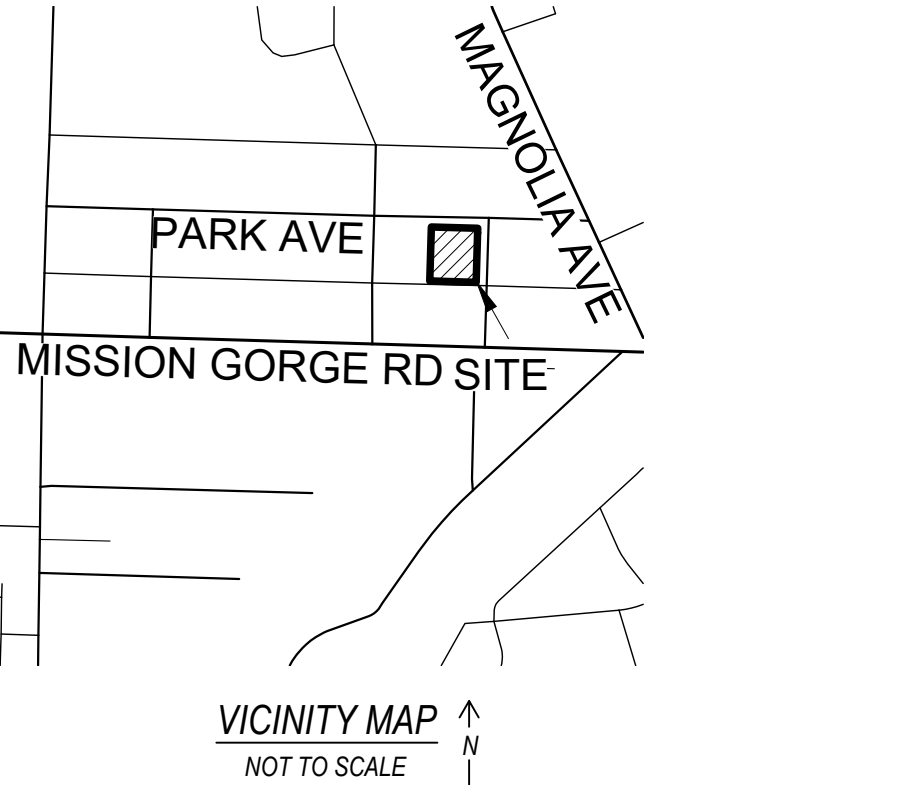
PARK AVE FLOWLINE TRANSITION INSET
SCALE: 1"=10'



1ST STREET FLOWLINE TRANSITION INSET
SCALE: 1"=10'

STORM DRAIN KEYNOTE LEGEND:

- PROP 9" ADS ATRIUM DRAIN INLET
- PROP 9" GRATE DRAIN INLET
- PROP 12"x12" BROOKS BOX GRATE INLET W/ 12" ADS FLEXSTORM PURE TRASH CAPTURE FILTER INSERT (SEE DETAIL SHEET C1.1)
- PROP 18"x18" BROOKS BOX INLET WITH 10"x3" WEIR OPENING (WEIR TO HAVE MESH GRATE INSTALLED TO PROVIDE TRASH CAPTURE)
- PROP 3" PVC D-27 SIDEWALK UNDERDRAIN
- PROP 4" PVC DRAIN OUTLET THROUGH ENDWALL INTO 4" MEDIAN RIP RAP (SEE DETAIL SHEET C1.1)
- PROP 6" PVC OUTLET THROUGH HEADWALL
- PROP PVC DRAIN TO OUTLET INTO PERMEABLE PAVER GRAVEL SECTION
- PROP MODIFIED D-75 ROCK LINED BROW DITCH
- PROP 4" PVC STORM DRAIN
- PROP 6" PVC STORM DRAIN
- PROP 8" PVC STORM DRAIN
- PROP D-25 CURB OUTLET
- PROP 18" WIDE CURB OPENING FOR OVERFLOW (SEE DETAIL SHEET C1.1)



PRELIMINARY GRADING PLAN
SCALE: 1"=20'

DEVELOPMENT SUMMARY:

- THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4126 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS IS 17.
- NUMBER OF EXISTING LOTS = 3 AND PROPOSED LOTS = 1.
- THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE.

UNIT TYPE	# OF UNITS	SQUARE FOOTAGE PER UNIT	TOTAL PER UNIT
1 BR. UNIT C	2	640 SF	1,280 SF
3 BR. UNIT D	2	1,358 SF	2,716 SF
4 BR. UNIT A	13	1,594 SF	20,722 SF
TOTAL	17		24,730 SF

SETBACKS:
STREET EDGE: 10'
SIDE ADJ R-1: 10'
SIDE: 10'
REAR: 10'

DEVELOPMENT SUMMARY (cont'd):

MAX STRUCTURE HEIGHT: 55'
DENSITY:

BASE DENSITY:	1 DU/1,980 SF	= 15 DU
ADDITIONAL UNITS SET ASIDE:		= 2.25 -> 3 DU
LOW INCOME: 15%		
ADDITIONAL UNITS PER DENSITY BONUS:		= 12 DU
100% AFFORDABLE: 80%		
TOTAL ALLOWED DWELLING UNITS:		= 27 U

PARKING REQUIREMENTS:

UNIT TYPE	# OF UNITS	CARS	MOTORCYCLES	BIKES
1 BR	2	1.0	2	
3 BR	2	1.5	3	
4 BR	13	2.5	32.5	
TOTAL REQUIRED:		37.5	0	1.5 DU 3.4
TOTAL PROPOSED:		33	0	

EASEMENTS

NO EASEMENTS EXIST PER PTR

MAPPING NOTE:

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

ZONING INFORMATION:

EXISTING AND PROPOSED ZONE: TC - TOWN CENTER (R-2Z)
OVERLAY ZONES: FAA SAFETY ZONE 6
COMMUNITY PLAN: TOWN CENTER SPECIFIC PLAN

PROJECT COORDINATES:

NAD 83 = 1882-6340 LAMBERT COORDINATES = 242-1779



PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.pascoengineering.com

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

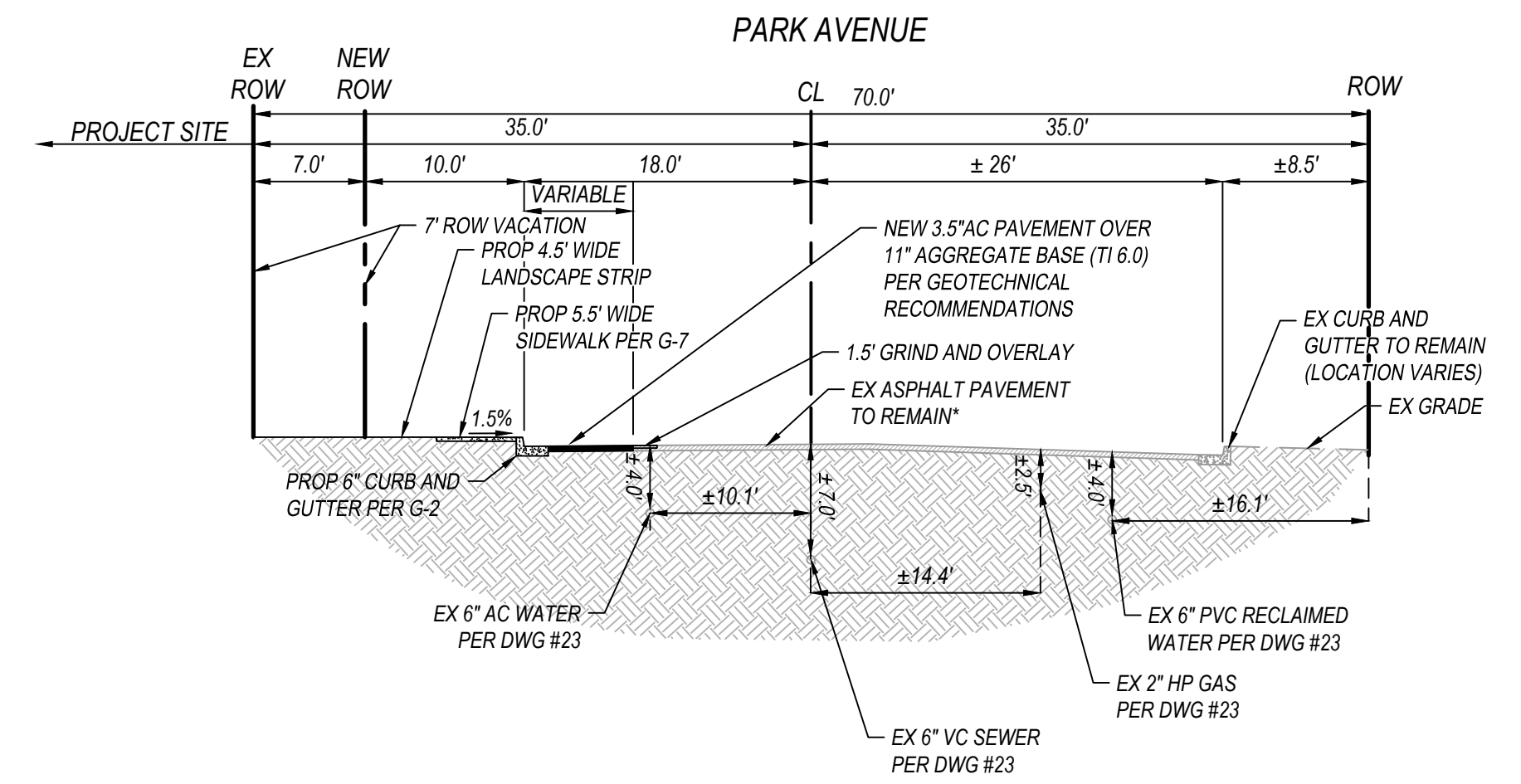


Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t. 858.792.5906 / f. 858.792.5916



job no. 3741
date 2/17/2023
TENTATIVE MAP 1ST
6/12/2023
TENTATIVE MAP 1ST

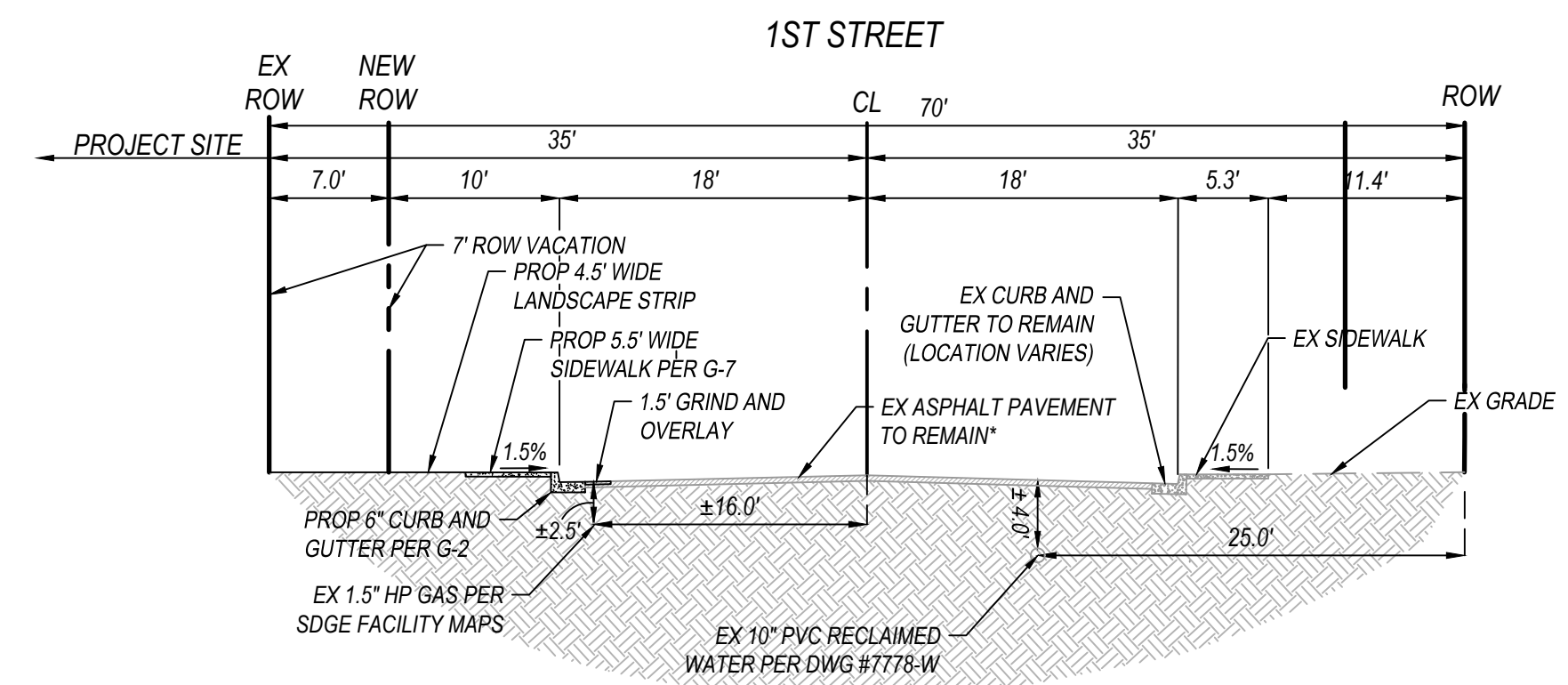
sheet C-1.0



TYPICAL SECTION: PARK AVENUE

NOT TO SCALE

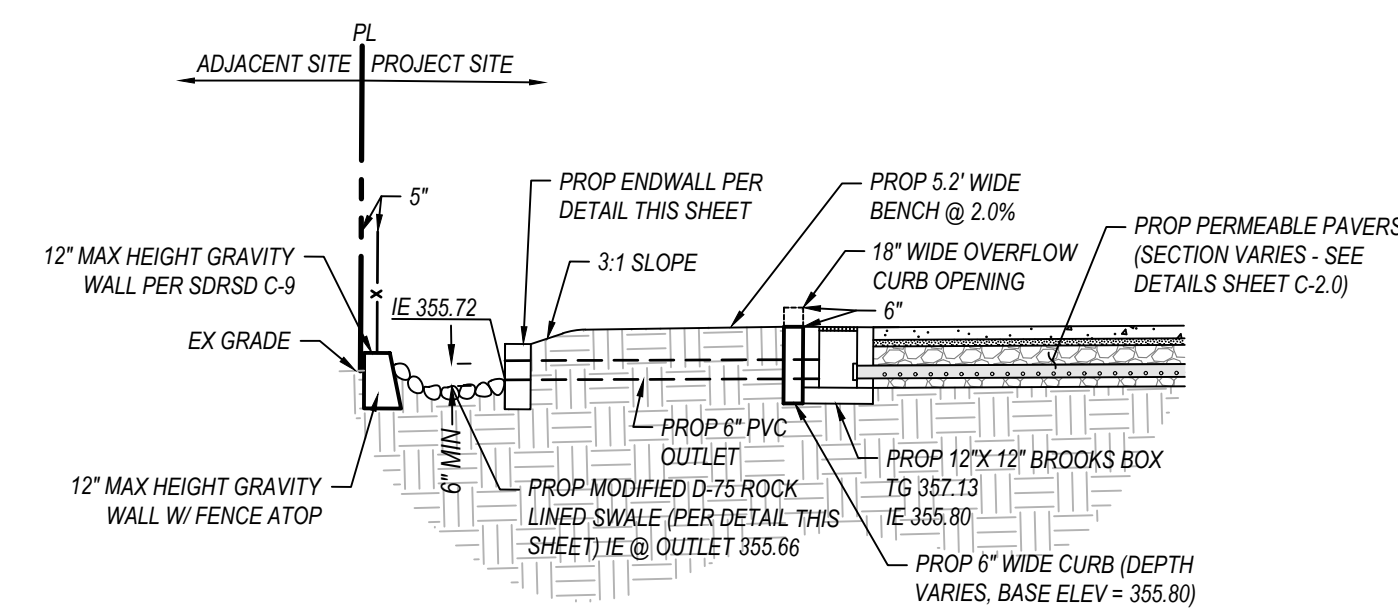
*NOTE THAT THE CONTRACTOR SHALL REPAIR OR REPLACED FAILED OR INADEQUATE PAVEMENT ADJACENT TO THE SITE TO CENTERLINE TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING/ CITY ENGINEER.



TYPICAL SECTION: 1ST STREET

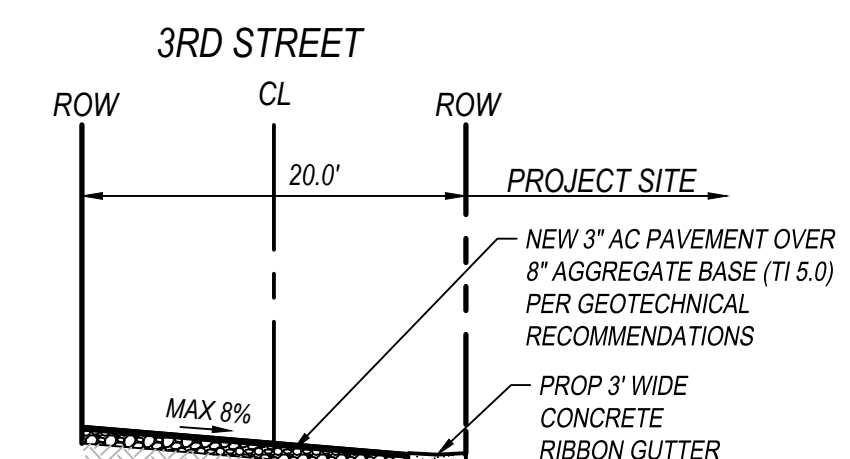
NOT TO SCALE

*NOTE THAT THE CONTRACTOR SHALL REPAIR OR REPLACED FAILED OR INADEQUATE PAVEMENT ADJACENT TO THE SITE TO CENTERLINE TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING/ CITY ENGINEER.



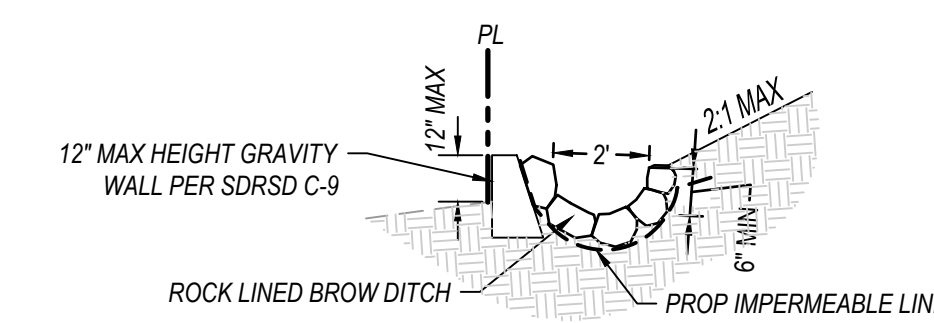
TYPICAL SECTION: PERMEABLE PAVER DRIVEWAY OUTLETTING INTO BROW DITCH

NOT TO SCALE



TYPICAL SECTION: 3RD STREET

NOT TO SCALE

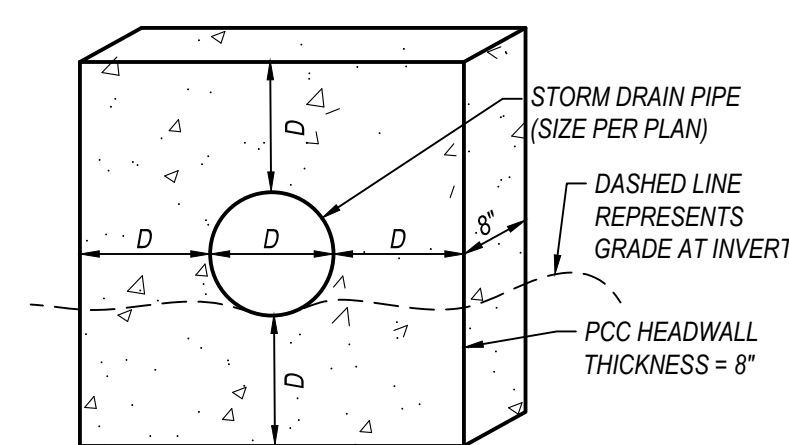


MODIFIED D-75 ROCKLINED BROW DITCH

NOT TO SCALE

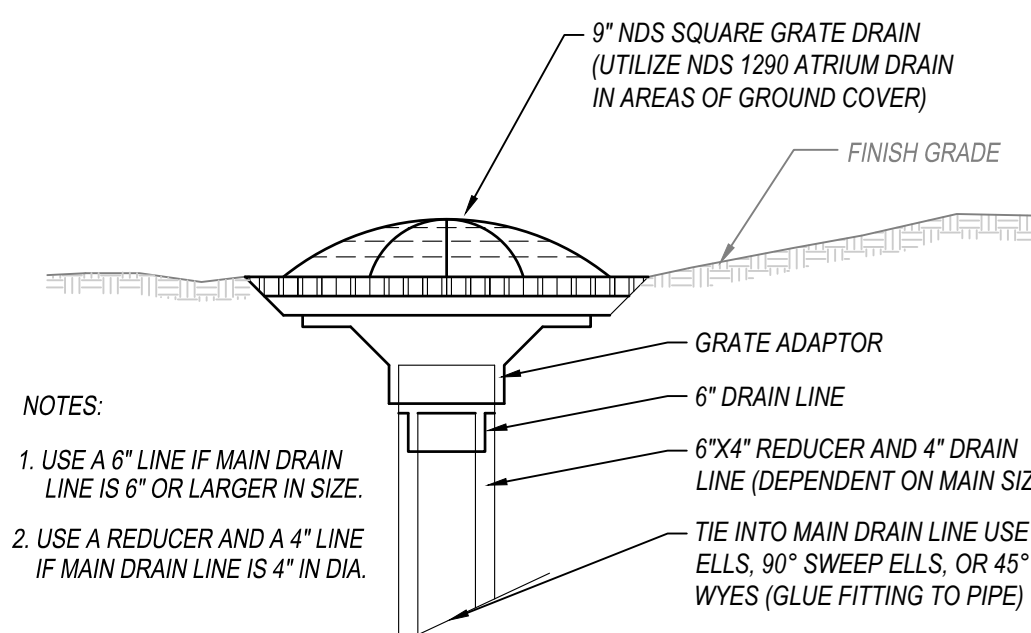


VICINITY MAP
NOT TO SCALE



TYPICAL DETAIL - PCC MODIFIED HEADWALL

NOT TO SCALE



GRATE/ ATRIUM DRAIN DETAIL

NOT TO SCALE

NOTES:

1. USE A 6" LINE IF MAIN DRAIN LINE IS 6" OR LARGER IN SIZE.
2. USE A REDUCER AND A 4" LINE IF MAIN DRAIN LINE IS 4" IN DIA.

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sdpa ARCHITECTS

job no. 3741

date 2/17/2023 TENTATIVE MAP 1ST

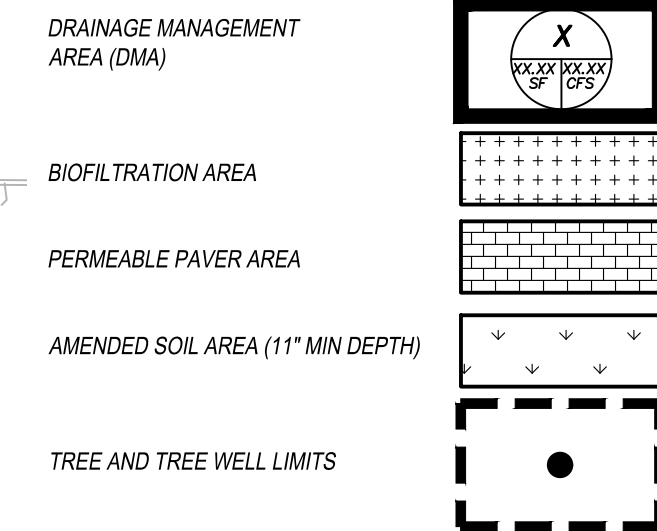
6/12/2023 TENTATIVE MAP 1ST

sheet C-1.1

PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com

8932 1ST STREET, SANTEE, CA 92071
TENTATIVE MAP #TM2023-1

LEGEND:



IMPERVIOUS AREA TABULATIONS:

EXISTING IMPERVIOUS AREA: 2,654 S.F. (0.06 ACRES, 9%)
PROPOSED IMPERVIOUS AREA: 16,840 S.F. (0.38 ACRES, 58%)
PROPOSED PERMEABLE PAVEMENT AREA: 4,348 S.F. (0.10 ACRES, 15%)
RUNOFF FACTOR: 0.90 = IMPERVIOUS, 0.30 = PERVIOUS, 0.10 = PERMEABLE PAVERS
WEIGHTED RUNOFF FACTOR = (58% X 0.90) + (26% X 0.30) + (15% X 0.10) = 0.62
REFER TO THE BMP AREA SUMMARY TABLE FOR ALL PROPOSED BMP AREAS

GEOLOGY NOTES:

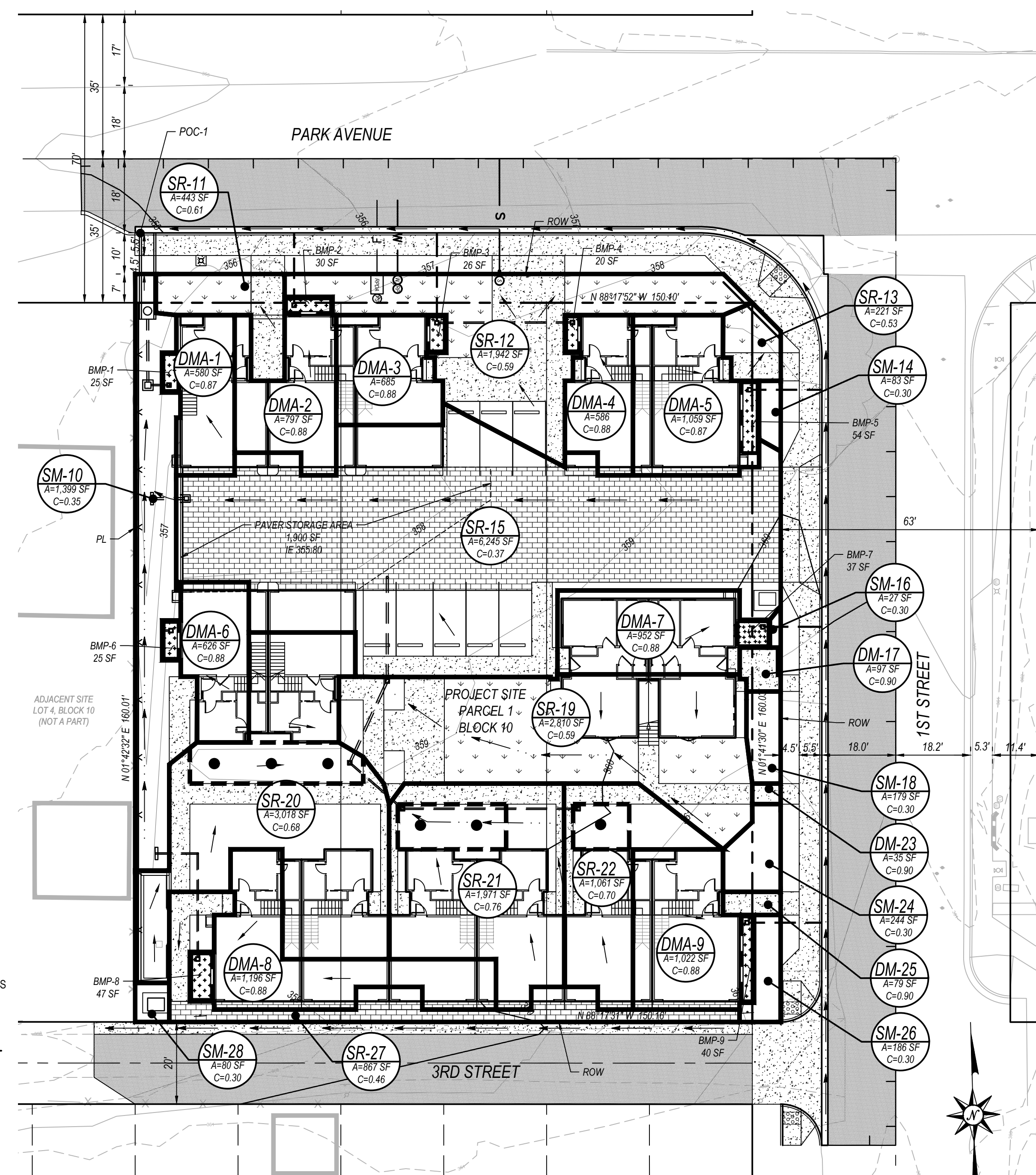
UNDERLYING HYDROLOGIC SOIL GROUP: TYPE D
APPROXIMATE DEPTH TO GROUNDWATER: >30 FEET

PERMANENT POST-CONSTRUCTION BMP NOTES:

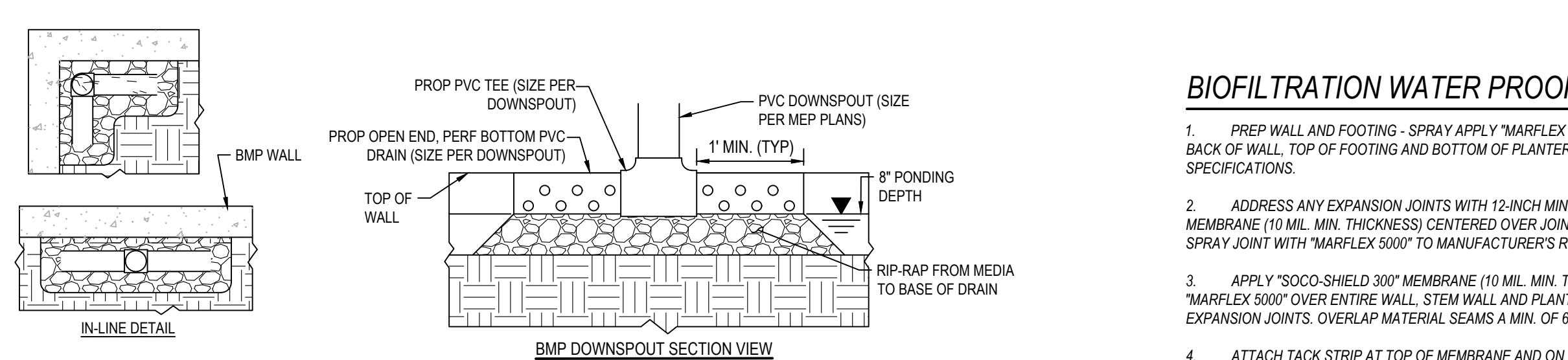
- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWM/DCMA) OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMPs WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- ANY MODIFICATIONS TO THE PERMANENT POST-CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

NOTES:

- ALL DMAs UTILIZING IMPERVIOUS AREA DISPERSION WILL SATISFY POLLUTANT CONTROL AND HYDROMODIFICATION REQUIREMENTS BY AMENDING THE TOP 11 INCHES OF THE PERVIOUS AREA WITHIN THE DMA (PER FACTSHEET SD-B IMPERVIOUS AREA DISPERSION), AND THE OVERALL PERVIOUS AREA WITHIN EACH DMA IS GREATER THAN 50% OF THE OVERALL DMA.



POST CONSTRUCTION BMP PLAN
SCALE: 1"=20'
GRAPHIC SCALE: 1" = 20'



DOWNSPOUT ENERGY DISSIPATION/ OUTLET DETAILS
NOT TO SCALE

CONTRACTOR REQUIREMENTS FOR ENGINEER OF WORK POST-CONSTRUCTION BMP CERTIFICATION:

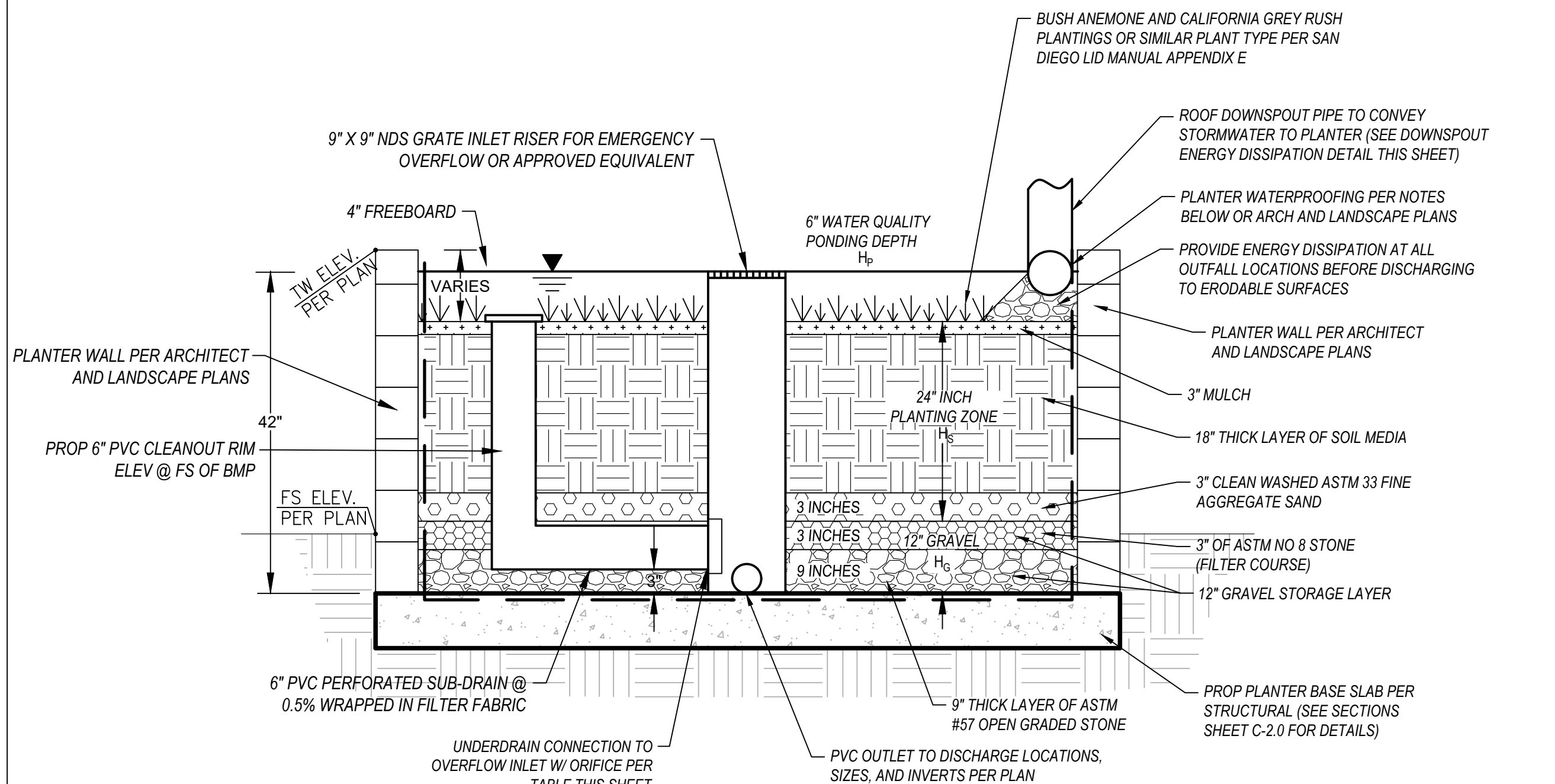
- THE CONTRACTOR IS TO CONSTRUCT ALL BMPs AS DESIGNATED ON THIS PLAN, PURSUANT TO APPROVED MAINTENANCE AGREEMENT IF IN FIELD CONDITIONS WARRANT A PORTION OF THIS DESIGN INFEASIBLE, THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF WORK IMMEDIATELY.
- PRIOR TO THE INSTALLATION OF THESE BMPs, THE CONTRACTOR IS TO PROVIDE THE FOLLOWING TO THE ENGINEER OF RECORD:
 - SUBMITTALS FOR SOIL MEDIA MIXES, SAND, AND GRAVEL USED IN BMP CONSTRUCTION.
 - PURCHASE ORDERS FOR ALL PROPRIETARY BMP SYSTEMS.
- SHOULD THE REQUIRED DOCUMENTATION LISTED ABOVE NOT BE PROVIDED TO THE ENGINEER OF WORK PRIOR TO THE TIME OF INSTALLATION, THE ENGINEER OF WORK RESERVES THE RIGHT TO REFUSE CERTIFICATION OF THESE BMPs UNTIL EITHER THE NECESSARY DOCUMENTATION HAS BEEN PROVIDED, OR A WRITTEN CERTIFICATION OF MATERIAL SPECIFICATION PER PLAN HAS BEEN PROVIDED BY THE CONTRACTOR, THUS ACCEPTING LIABILITY SHOULD IT BE FOUND THAT THESE BMPs WERE NOT INSTALLED TO PLAN AT A LATER DATE.

BIOFILTRATION WATER PROOFING NOTES

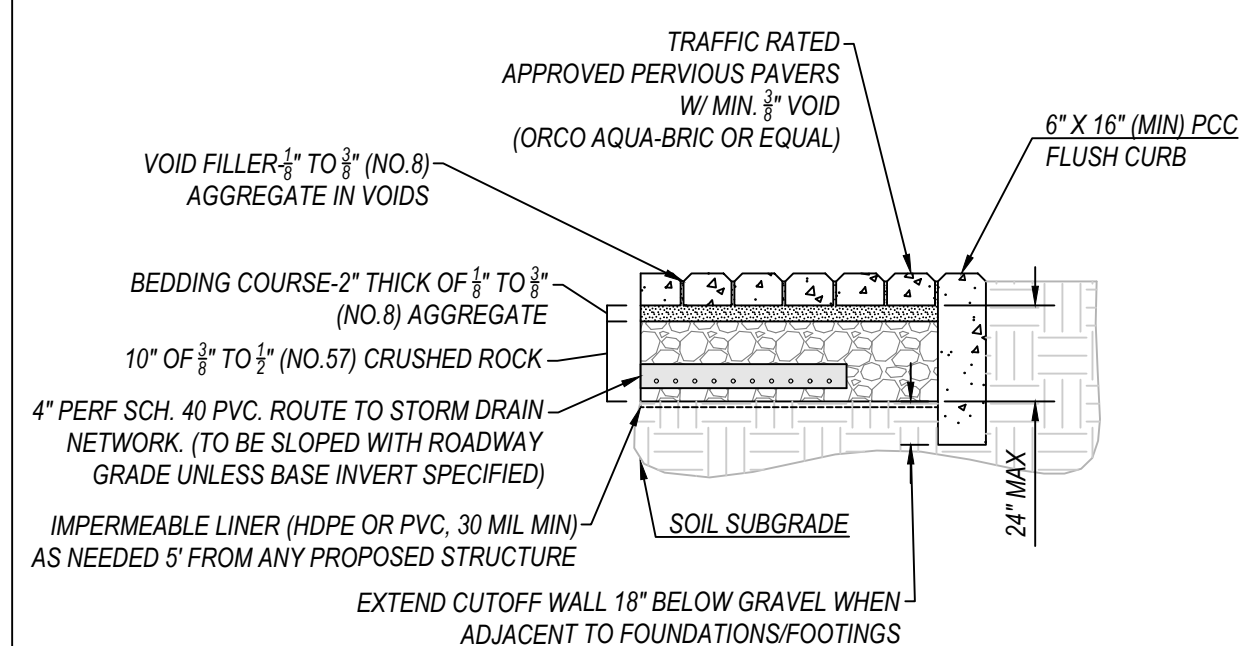
- PREP WALL AND FOOTING - SPRAY APPLY "MARFLEX 5000" COMMERCIAL MEMBRANE TO BACK OF WALL, TOP OF FOOTING AND BOTTOM OF PLANTER PER MANUFACTURER'S SPECIFICATIONS.
- ADDRESS ANY EXPANSION JOINTS WITH 12-INCH MIN. STRIP OF "SOCO-SHIELD 300" MEMBRANE (10 MIL. THICKNESS) CENTERED OVER JOINT, ADHERED TO "MARFLEX" OVER SPRAY JOINT WITH "MARFLEX 5000" TO MANUFACTURER'S REQUIRED MIL THICKNESS.
- APPLY "SOCO-SHIELD 300" MEMBRANE (10 MIL. MIN. THICKNESS) TO ADHERE TO THE "MARFLEX 5000" OVER ENTIRE WALL, STEM WALL AND PLANTER BOTTOM INCLUDING TREATED EXPANSION JOINTS. OVERLAP MATERIAL SEAMS A MIN. OF 6-INCHES IN ALL DIRECTIONS.
- ATTACH TACK STRIP AT TOP OF MEMBRANE AND ON SIDE ENDS OF WALL FROM TOP OF MEMBRANE TO TOP OF FOOTING.
- APPLY "COOL-COAT" OF EQUIVALENT U.V. RESISTANT MEMBRANE ABOVE TACK STRIP TO TOP OF WALL PER MANUFACTURER'S SPECIFICATIONS.

ADDITIONAL WATER PROOFING NOTES

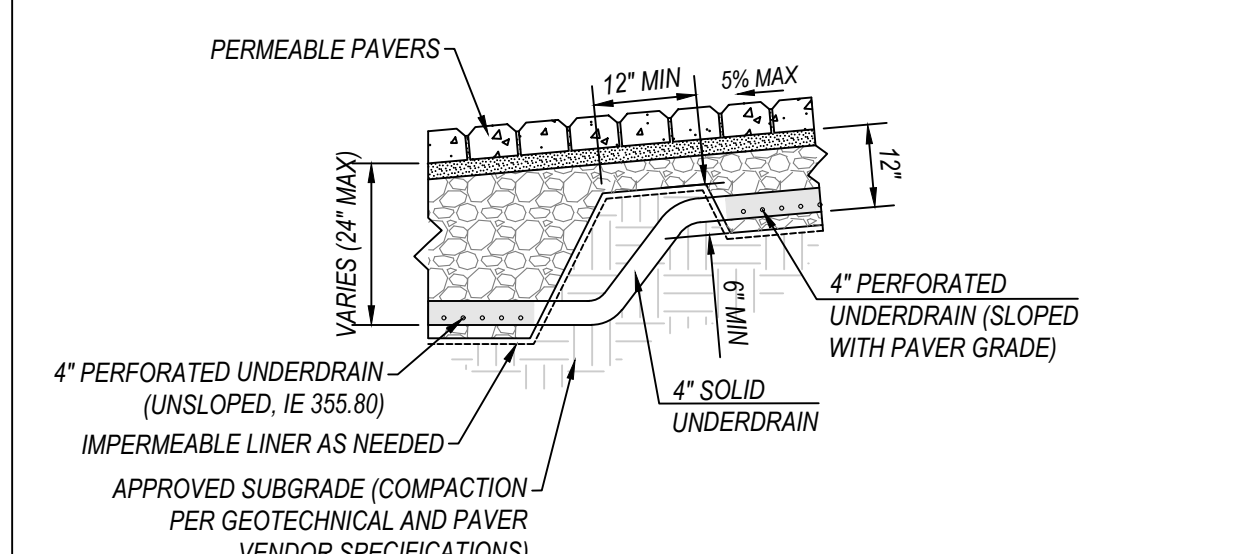
- PER GEOTECHNICAL RECOMMENDATIONS, NO INFILTRATION IS FEASIBLE ON THIS SITE, HOWEVER, SHOULD A WATER QUALITY TREATMENT BMP BE PROPOSED WITH AN OPEN BOTTOM (PERMEABLE PAVERS OR TREE WELLS), AN IMPERMEABLE LINER SHALL BE PROPOSED AT THE BASE OF EACH BMP SECTION TO A DISTANCE AT LEAST 5' FROM THE CLOSEST BUILDING STRUCTURE OR RETAINING WALL.



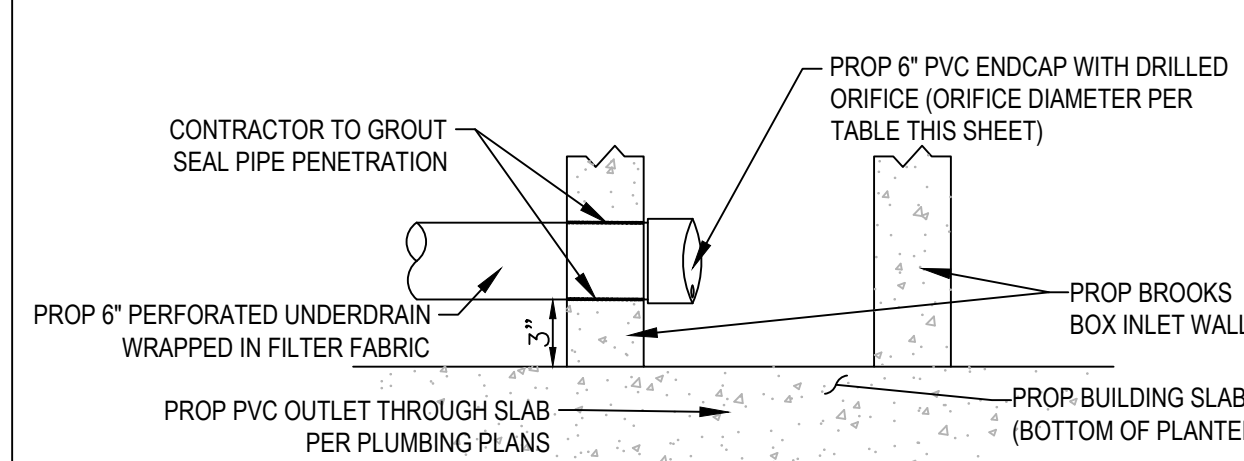
A1 TYPICAL SECTION: BIOFILTRATION PLANTER CROSS SECTION (BF-1)
NOT TO SCALE



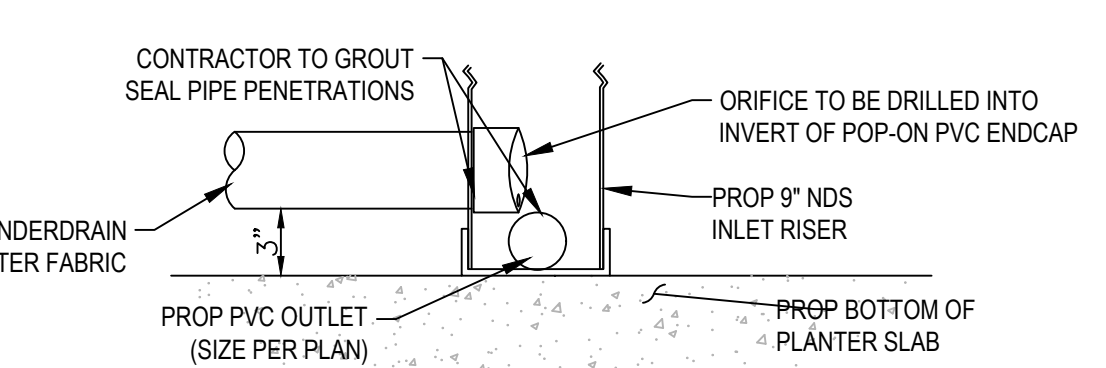
PERMEABLE PAVER DETAIL
NOT TO SCALE



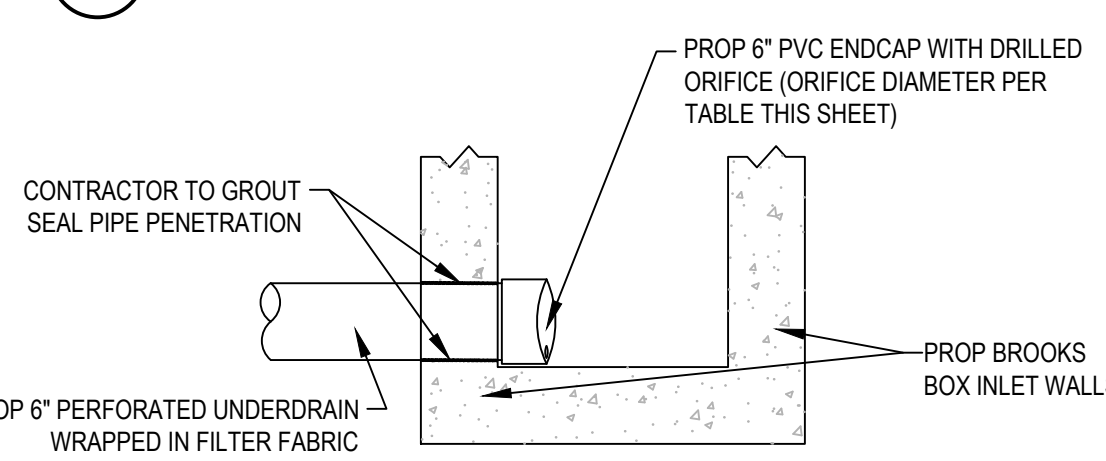
PERMEABLE PAVER SUBBASE & UNDERDRAIN TRANSITION DETAIL
NOT TO SCALE



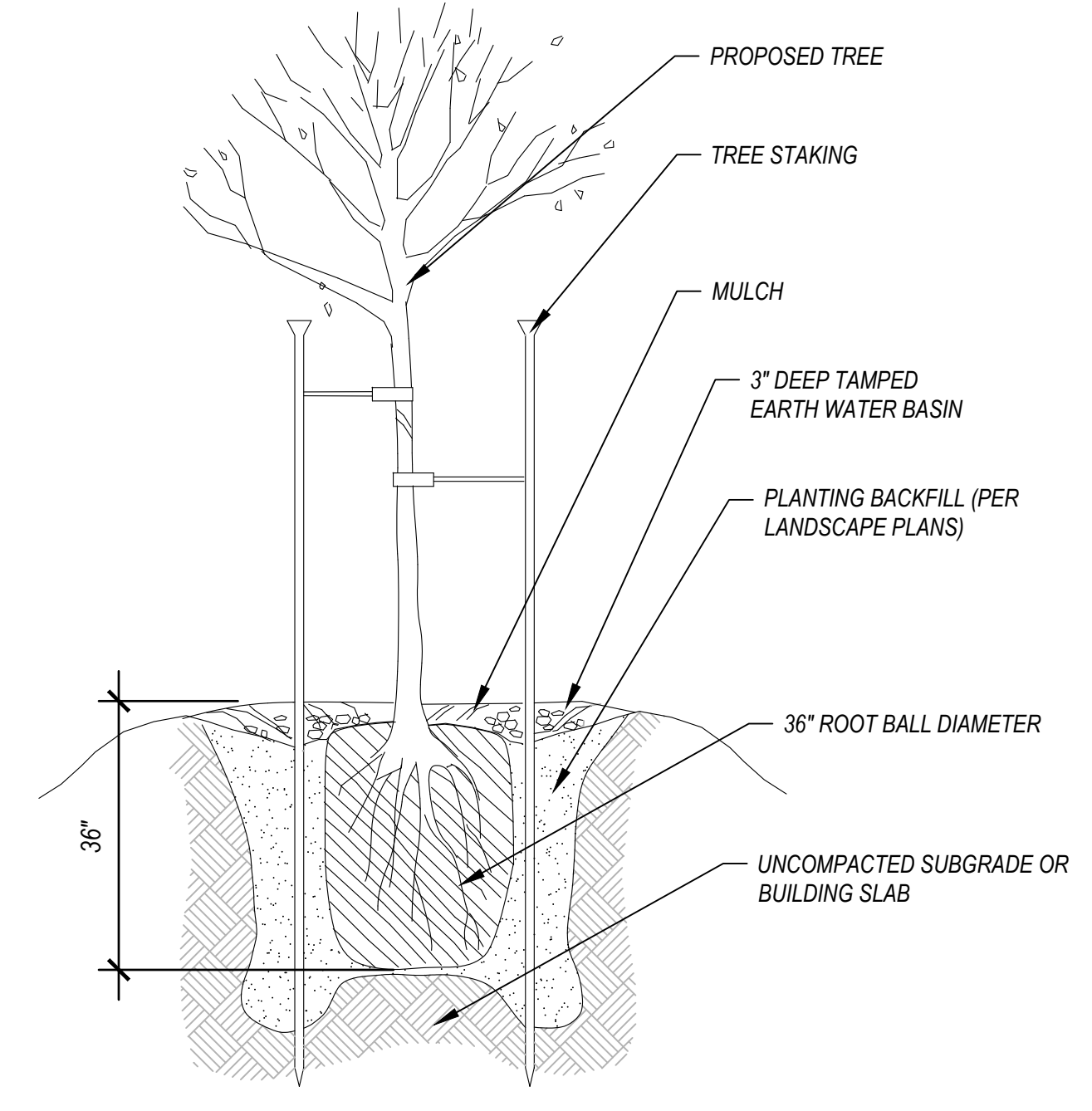
A3 BROOKS BOX INLET CONNECTION DETAIL
NOT TO SCALE



A2 9" NDS INLET CONNECTION DETAIL
NOT TO SCALE



A3 BROOKS BOX INLET CONNECTION DETAIL
NOT TO SCALE



TREE WELL PLANTER DETAIL
SCALE: NTS
(SEE LANDSCAPE PLANS FOR ADDITIONAL SPECS AND DETAILS)

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



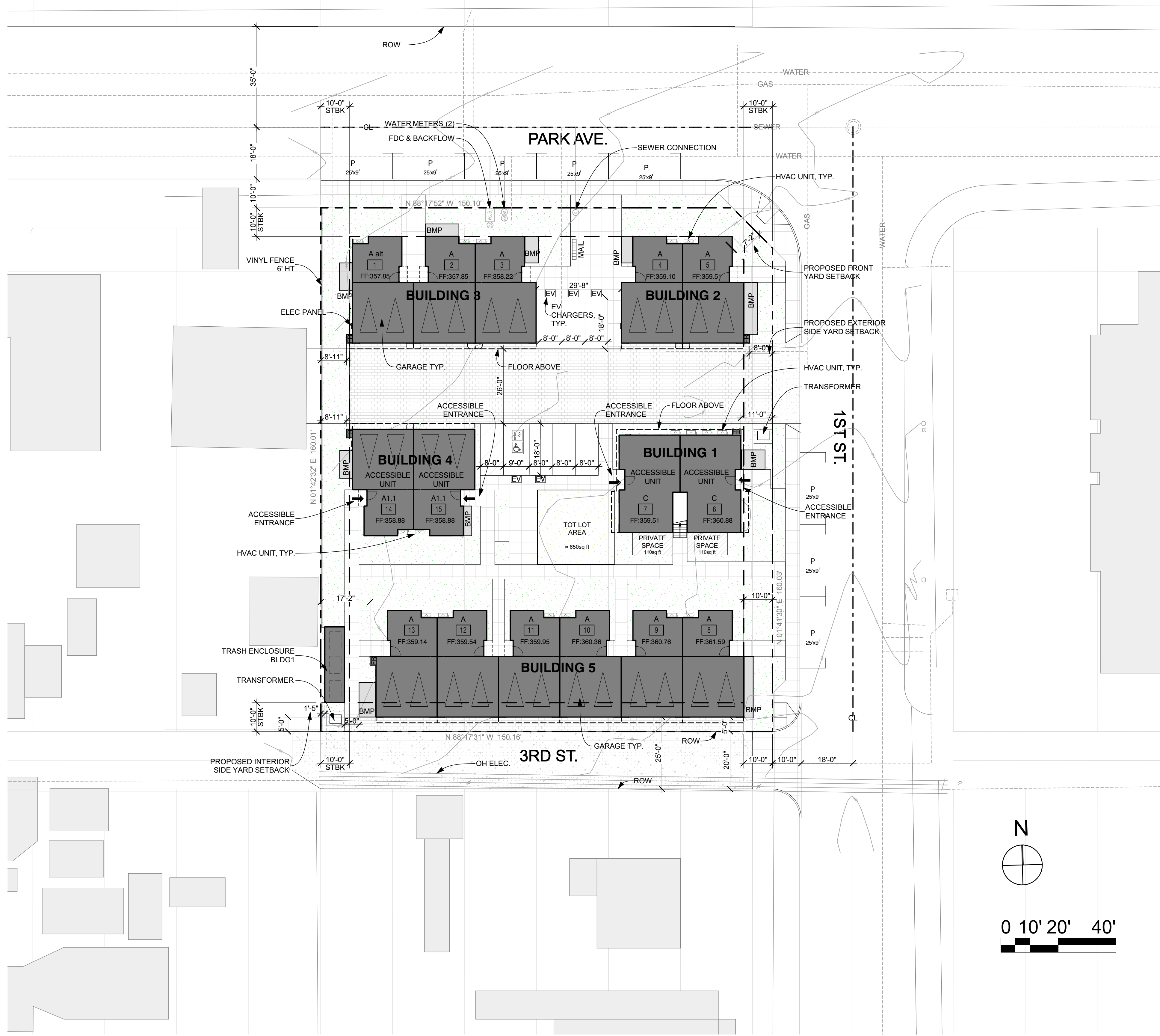
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

POST-CONSTRUCTION BMP PLAN
psa ARCHITECTS

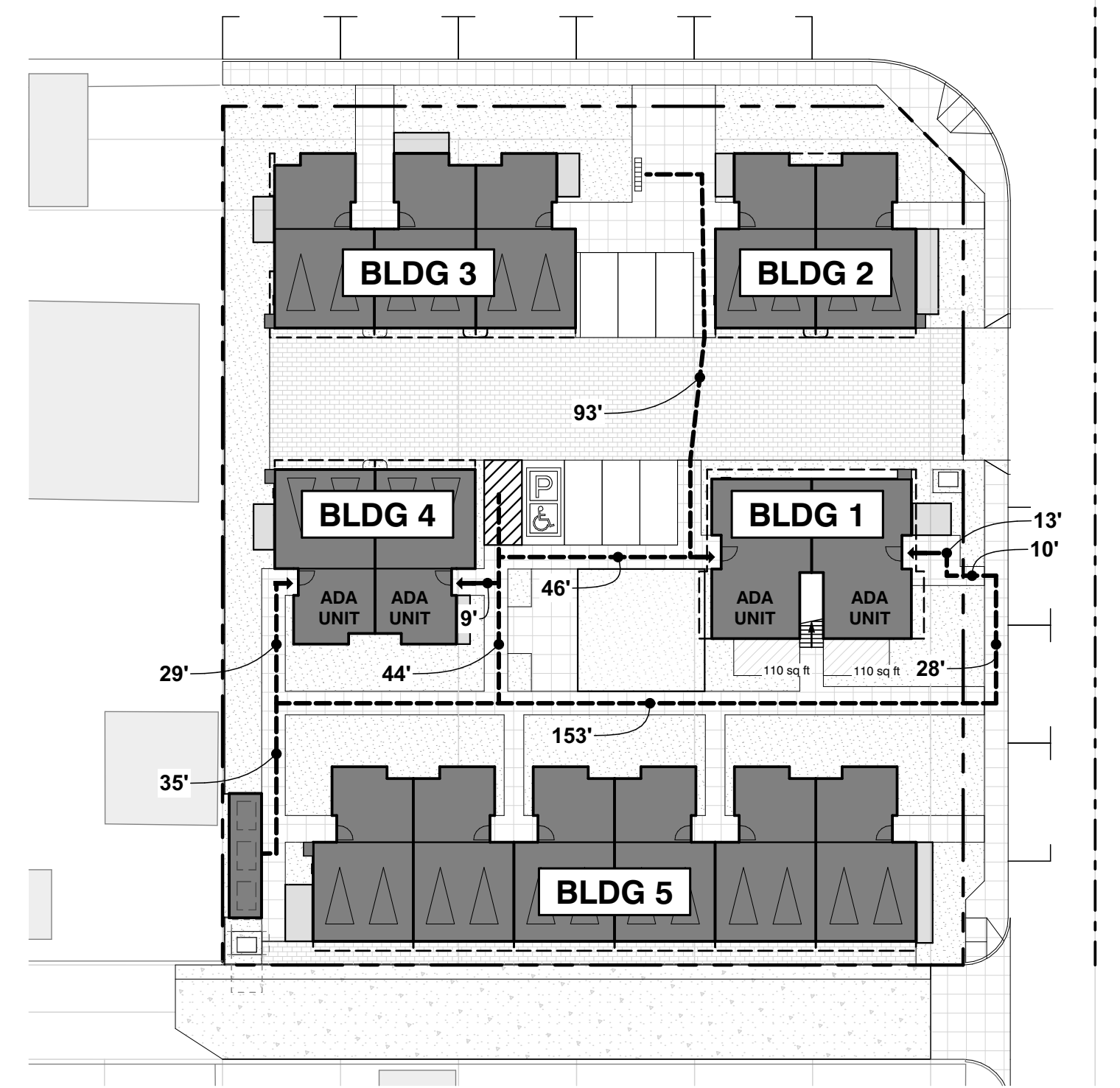
job no. **3741**
date
2/17/2023 TENTATIVE MAP 1ST
6/12/2023 TENTATIVE MAP 1ST

sheet
C-2.0

PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'



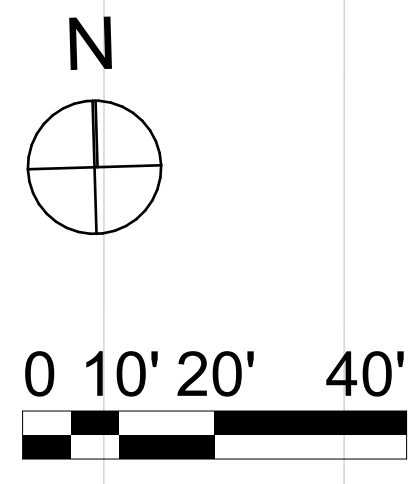
2 ACCESSIBILITY
SCALE: 1" = 30'

ACCESSIBLE PLAN LEGEND

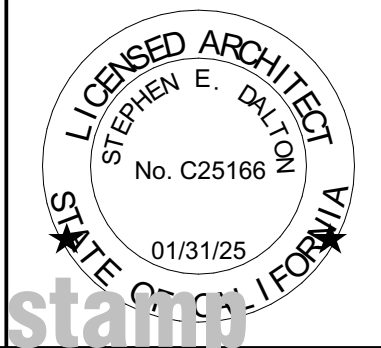
- ACCESSIBLE PATH OF TRAVEL
- ADJOINING LOADING AREA
- ON-SITE ACCESSIBLE PARKING SPACE

SITE PLAN LEGEND

- PROPOSED BUILDING FOOTPRINT
- SECOND FLOOR
- HARDSCAPE: PAVERS
- PERMEABLE PAVERS
- AC PAVEMENT
- LANDSCAPE
- TOT LOT AREA



HABITAT SANTEE
 8932 1ST ST. SANTEE, CA 92071



ARCHITECTURAL SITE PLAN
 Stephen Dalton Architects
 444 S. CEDROS, STUDIO 190
 SOLANA BEACH, CA 92075
 t: 858.792.5906 / f: 858.792.5916



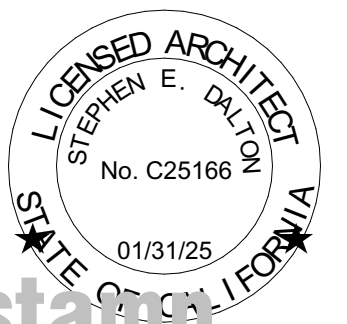
Job no. **2134**
 date
 8/17/2022 PRE APPLICATION SET
 2/25/2023 DRP SUBMITTAL I
 6/13/2023 DRP SUBMITTAL II

sheet
A1-1

FIRE DEPT NOTES

- TO THE APPLICANT: OWNER(S), DEVELOPER(S), AND/OR CONTRACTOR(S); A "DISCRETIONARY" PLAN REVIEW IS "CONCEPTUAL" BY DEFINITION, AND AS SUCH DOES NOT CONSTITUTE AN APPROVAL FOR FIRE ACCESS. IT SHALL THEREFORE BE INCUMBENT OF THE APPLICANT TO ENSURE THAT A FIRE PLAN REVIEW CYCLE IS PROVIDED DURING THE "MINISTERIAL" REVIEW. ALSO, AN "EXHIBIT A" PACKAGE WITH OR WITHOUT A "FIRE ACCESS PLAN" DOES NOT CONSTITUTE AN APPROVED FAP FOR ISSUANCE OF A CONSTRUCTION/BUILDING PERMIT.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.
- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 504.1.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON ADDRESS/ACCESS SIDE OF THE STRUCTURE. CFC 912.2.1
- GENERAL STRETCHER REQUIREMENTS - ALL BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH, NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE PROVISIONS OF CBC SECTION 3002.4A.
- AN APPROVED VEHICLE STROBE DETECTOR SYSTEM AND/OR KNOX KEYSWITCH OVERRIDE SHALL BE PROVIDED FOR ALL VEHICLE ENTRY AND/OR EMERGENCY VEHICLE ENTRY POINTS TO THE PROJECT SITE. LOCATIONS TO BE APPROVED BY FIRE ACCESS REVIEWER. CFC SECTION 506.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. CFC SECTION 906.
- STRUCTURES UNDER CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A10BC) AS FOLLOWS:
 - AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - IN EVERY STORAGE AND CONSTRUCTION SHED.
 - ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS. CFC 3315.
- PROVIDE STAIRWAY IDENTIFICATION SIGNS PER CFC 1023.9-1023.9.1
- EXTERIOR DOORS AND OPENINGS REQUIRED BY CFC/ CBC SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL. CFC SEC. 504.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
- DECORATIVE MATERIALS SHALL BE PROVIDED AND/OR MAINTAINED IN A FLAME-RETARDANT CONDITION. CFC SEC. 804.
- ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
- CFC105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC/CBC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THESE CODES.
- FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED, AND READILY VISIBLE.
- ADDRESS NUMBERS SHALL BE PLACED NEAR THE FRONT/GARAGE DOOR OF EACH UNIT VISIBLE FROM THE FIRE LANE. NUMBERS SHALL BE BLOCK STYLE, 4" IN HEIGHT MINIMUM, BLACK IN COLOR (OR OTHER APPROVED COLOR), IN CONTRAST WITH THEIR BACKGROUND. IN MULTIFAMILY RESIDENTIAL DEVELOPMENTS, ADDRESS NUMBERS SHALL ALSO BE PLACED AT AN APPROVED LOCATION ON THE GARAGE SIDE OF EACH UNIT.
- AUTOMATIC FIRE SPRINKLER SYSTEM: THE BUILDING IS REQUIRED TO BE CONSTRUCTED WITH AN APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR DESIGNED TO NFPA 13R STANDARD. SEPARATE PLANS ARE REQUIRED TO BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION. THE FIRE SPRINKLER SYSTEM IS REQUIRED TO BE MONITORED BY AN APPROVED CENTRAL STATION MONITORING COMPANY. A POTTER, "SSH-120" HORN/STROBE (OR EQUIVALENT) SHALL BE LOCATED BELOW EACH ADDRESS PLACEMENT FOR INDICATION OF FIRE SPRINKLER ACTIVATION.
- FIRE ALARM SYSTEMS
A MANUAL AND/OR AUTOMATIC FIRE ALARM SYSTEM MAY BE REQUIRED FOR THE BUILDING. SEPARATE PLANS WILL BE SUBMITTED TO THE FIRE DEPARTMENT FOR ANY FIRE ALARM SYSTEM(S) OR DEVICES FOR APPROVAL PRIOR TO INSTALLATION. THE FIRE ALARM CONTROL PANEL OR A REMOTE KEYPAD FOR THE SYSTEM SHALL BE LOCATED IN THE "FIRE RISER ROOM". PLANS & DOCUMENTATIONS FOR THE FIRE ALARM SYSTEM SHALL INCLUDE, MANUFACTURER CUT SHEETS FOR ALL FIRE ALARM DEVICES, CALIFORNIA STATE FIRE MARSHAL LISTING SHEETS FOR ALL APPROPRIATE DEVICES, PLANS SHOWING LOCATIONS OF ALL DEVICES, LINE DIAGRAM & POINT TO POINT DIAGRAM OF THE ALARM SYSTEM AND COMPLETE BATTERY & VOLTAGE DROP CALCULATIONS FOR THE SYSTEM.
- KNOX BOX
A KNOX BOX KEY SAFE FOR EMERGENCY ACCESS OF FIRE DEPARTMENT PERSONNEL IS REQUIRED FOR THE BUILDING. KNOX BOXES SHALL BE INSTALLED AT THE FRONT ENTRANCE, RISER ROOM AND OTHER REQUIRED LOCATION(S). KNOX BOX APPLICATIONS MAY BE OBTAINED FROM THE FIRE DEPARTMENT. APPROVAL OF THE NUMBER AND EXACT MOUNTING LOCATION SHALL BE DETERMINED BY THE FIRE CODE OFFICIAL PRIOR TO INSTALLATION.
- KNOX FIRE DEPARTMENT CONNECTION (FDC) PLUGS HOSE DEPARTMENT CONNECTION (FDC) PLUGS FOR FDC HOSE CONNECTIONS TO THE AUTOMATIC FIRE SPRINKLER SYSTEMS. THESE PLUGS ENSURE THAT THE FDC WILL BE CLEAR OF OBSTRUCTIONS AND ALLOW FOR THE PROPER FIRE DEPARTMENT USE OF AUTOMATIC FIRE SPRINKLER SYSTEMS. KNOX PLUGS CAN BE ORDERED ONLINE DIRECTLY FROM THE KNOX COMPANY AT KNOXBOX.COM. ORDER MODEL # 3043 (TWO PER BUILDING IF USING SIAMESE CONNECTION).
- FIRE EXTINGUISHERS
A MINIMUM OF ONE 2A10BC FIRE EXTINGUISHER SHALL BE LOCATED EVERY 75' OF TRAVEL DISTANCE THROUGHOUT THE BUILDING. IN CABINETS. EXACT EXTINGUISHER LOCATION TO BE DETERMINED BY THE FIRE CODE OFFICIAL PRIOR TO INSTALLATION.

HABITAT SANTEE
 8932 1ST ST. SANTEE, CA 92071



Stephen Dalton Architects
 444 S. CEDROS, STUDIO 190
 SOLANA BEACH, CA 92075
 t: 858.792.5906 / f: 858.792.5916

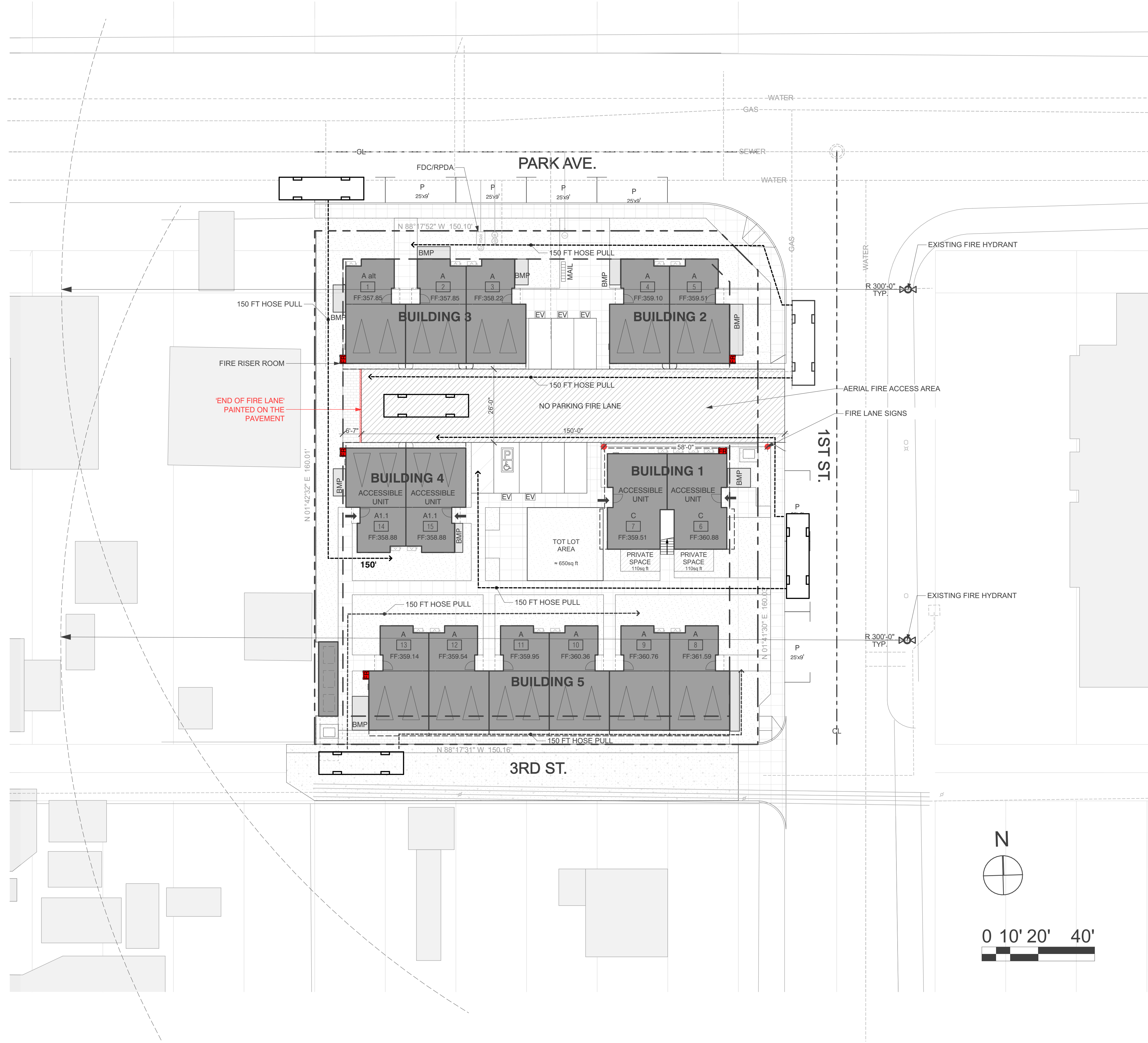
sd
 ARCHITECTS

Job no. **2134**
 date

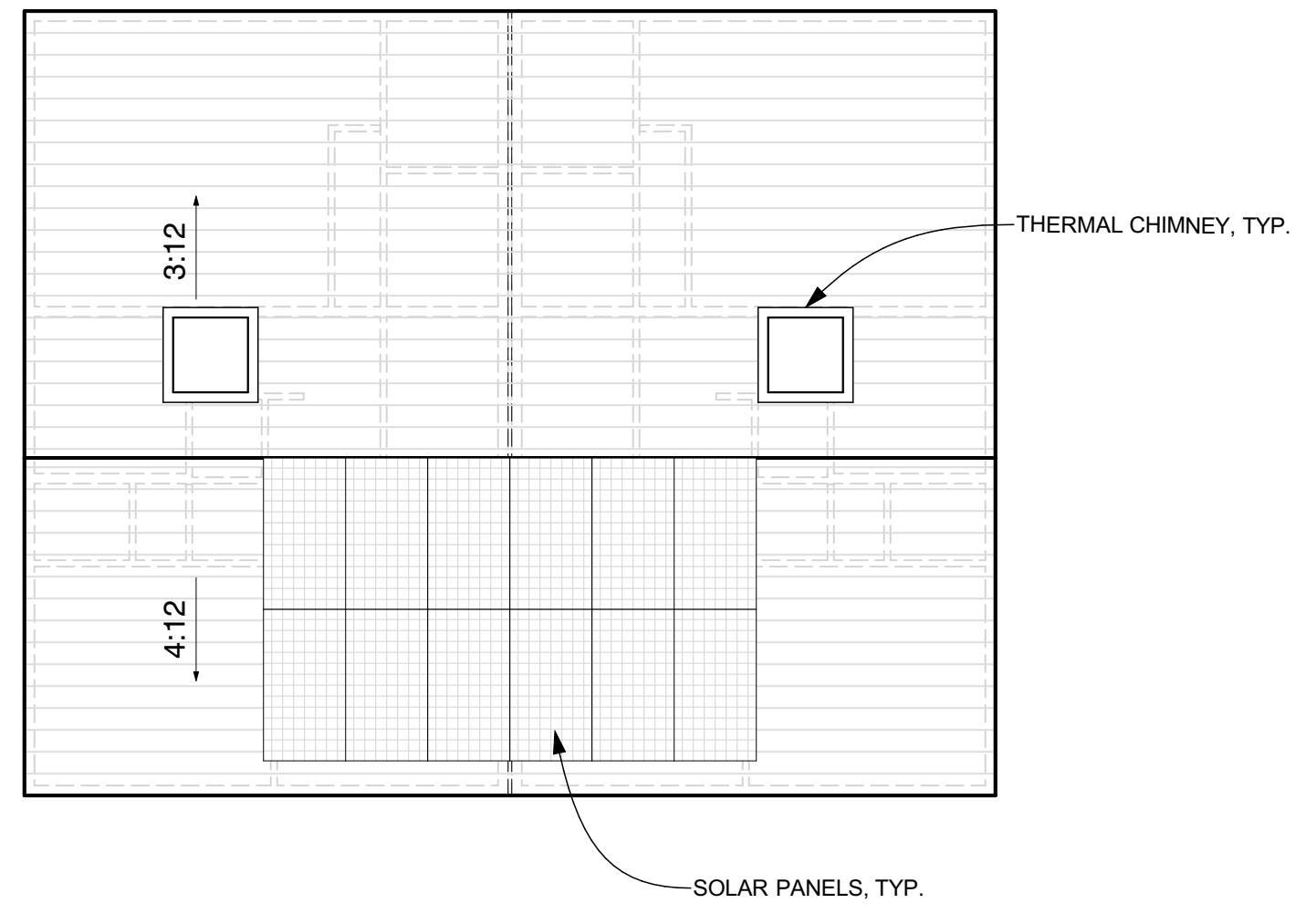
FIRE ACCESS PLAN LEGEND

- EXISTING FIRE HYDRANT
- FIRE LANE SIGN
- FIRE TRUCK
- 150 FT HOSE PULL
- AERIAL FIRE ACCESS AREA
- FIRE RISER ROOM

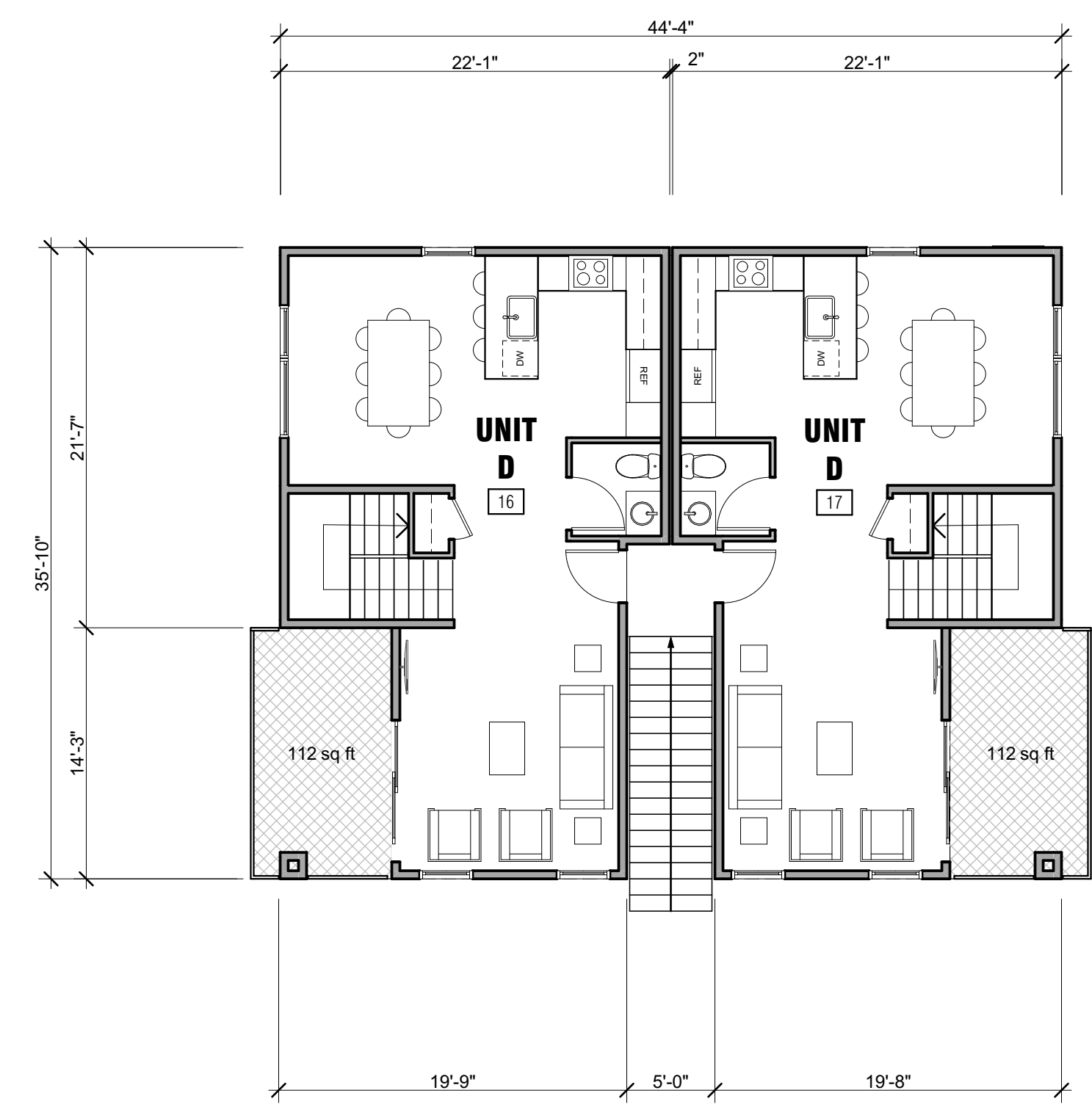
2 FIRE ACCESS PLAN
 SCALE: 1" = 20'



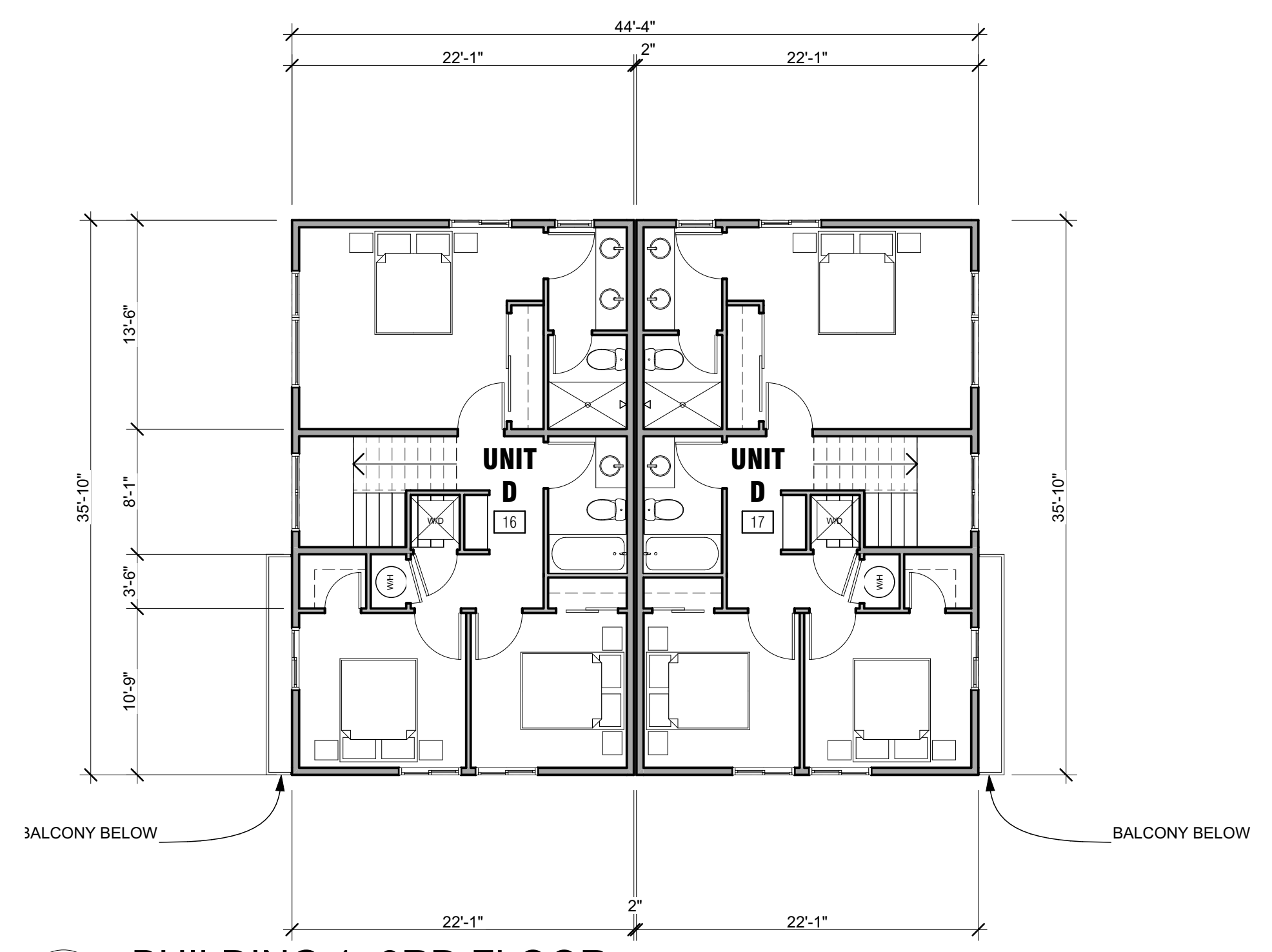
sheet
A1-2



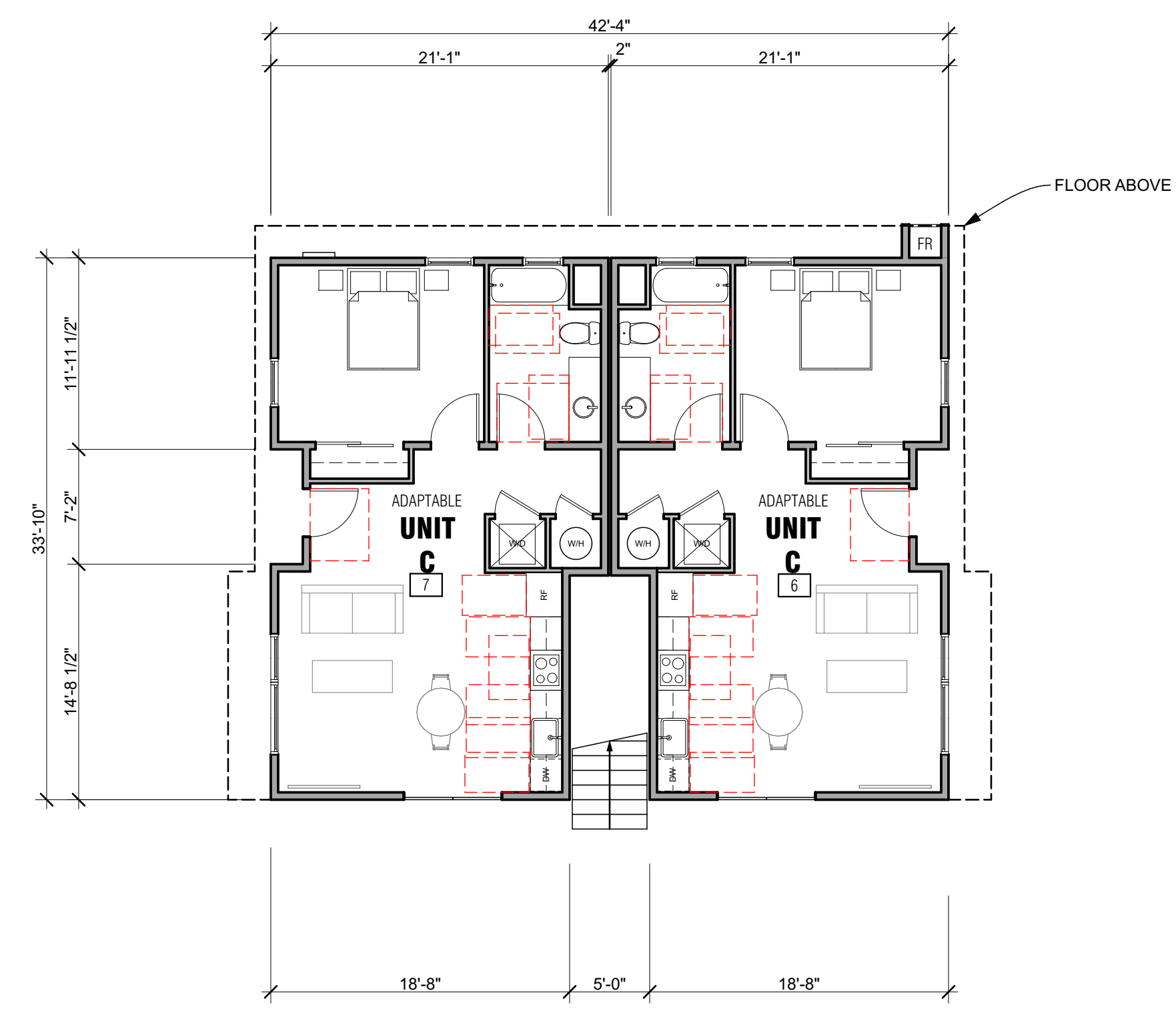
4 BUILDING 1 - ROOF PLAN
SCALE: 1/8" = 1'-0"



2 BUILDING 1 - 2ND FLOOR
SCALE: 1/8" = 1'-0"



3 BUILDING 1 - 3RD FLOOR
SCALE: 1/8" = 1'-0"



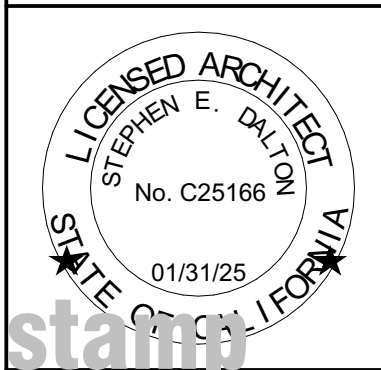
1 BUILDING 1 - 1ST FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

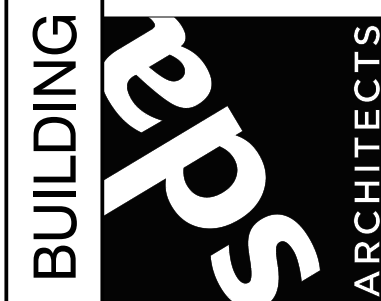
project title

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



BUILDING 1 - FLOOR PLANS

Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



job no. **2134**
date

8/17/2022
PRE APPLICATION SET

2/25/2023
DRP SUBMITTAL I

6/13/2023
DRP SUBMITTAL II

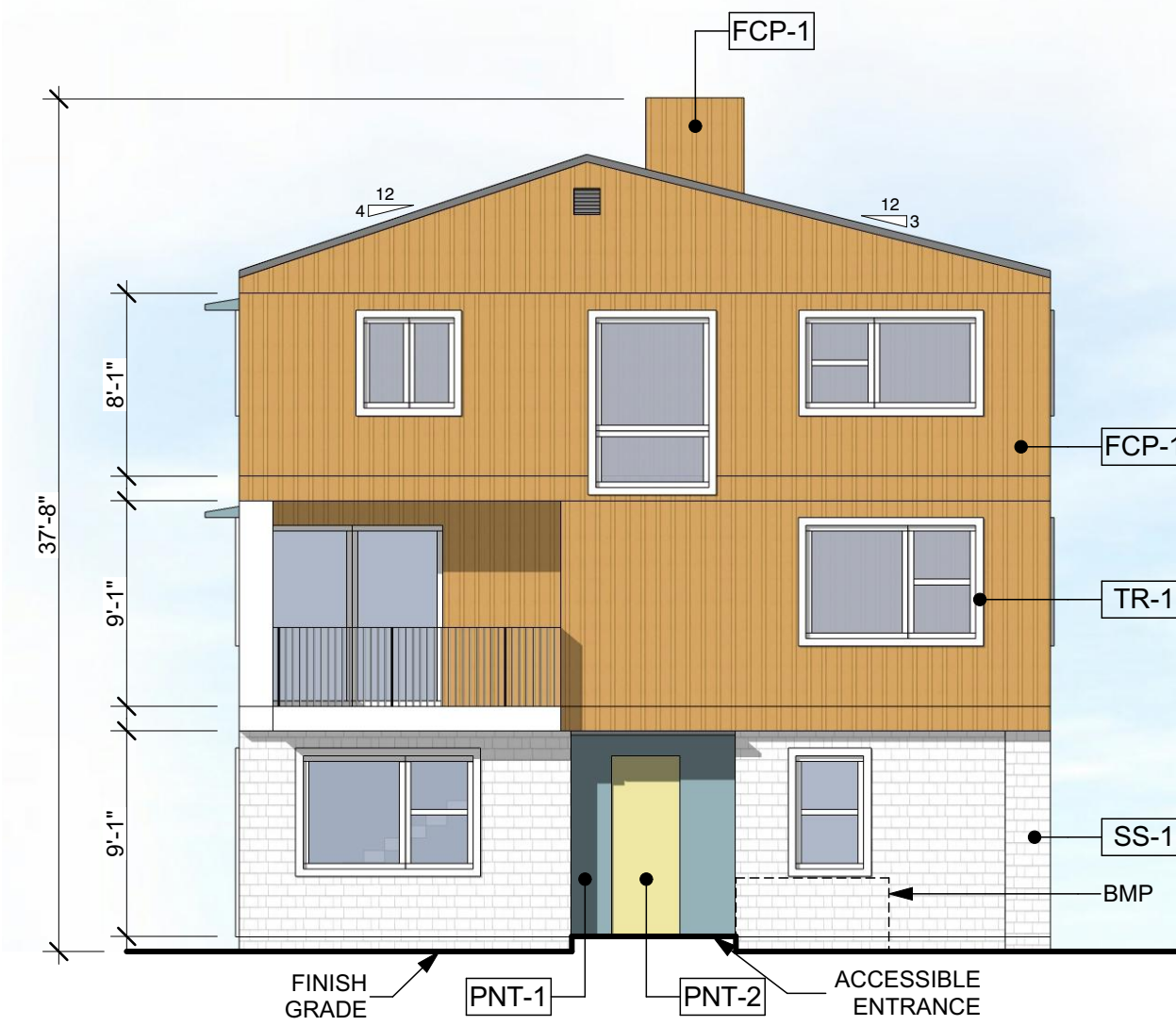
sheet **A1.2-1**



BUILDING 1 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - SOUTHEAST PERSPECTIVE

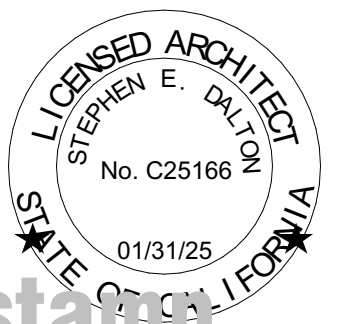


BUILDING 1 - NORTHEAST PERSPECTIVE

EXT. FINISH SCHEDULE

FCP-1	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BEESWAX (DE5242)
FCP-2	VERTICAL JAMES HARDIE PANEL, COLOR: ARTIC WHITE
FCP-3	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS STONE SILVER (DE5773)
FCP-4	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
FCP-5	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS TROPICAL MOSS (DE5486)
SS-1	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, COLOR: ARTIC WHITE
SS-2	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
TR-1	TRIM, HARDIETRIM 5/4 SMOOTH, COLOR: ARTIC WHITE
TR-2	TRIM, HARDIETRIM 5/4 SMOOTH, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
RF-1	ASPHALT SHINGLES, OWENS CORNING COOL ROOF COLLECTION, COLOR: SIERRA GRAY
PNT-1	EXTERIOR FLAT, DUNN EDWARDS STONE SILVER (DE5773)
PNT-2	EXTERIOR FLAT, DUNN EDWARDS TROPICAL MOSS (DE5486)
PNT-3	EXTERIOR FLAT, DUNN EDWARDS BOAT ANCHOR (DE6377)
GR-1	---
MS-1	METAL SHADE
MS-2	METAL AWNING

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



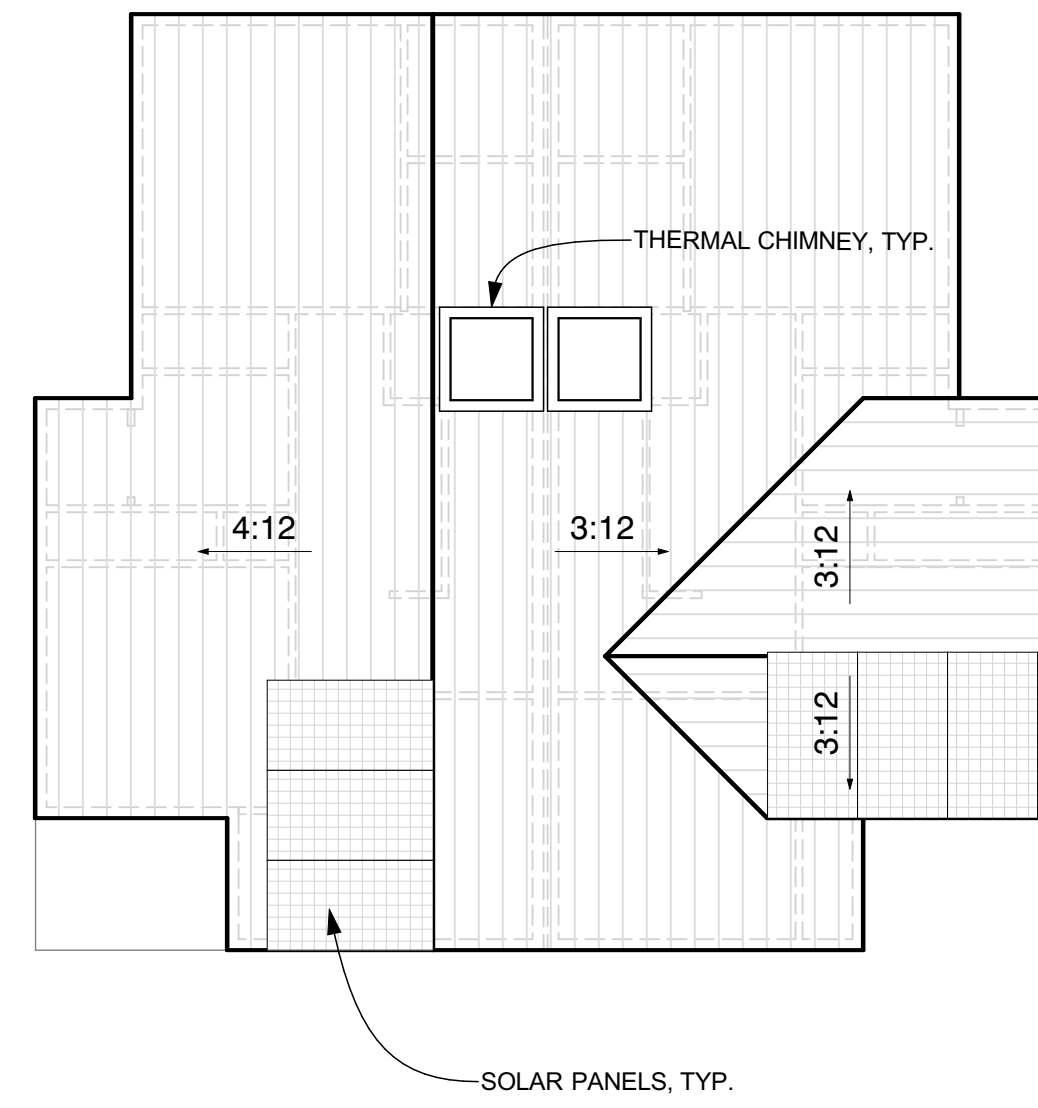
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sd
ARCHITECTS

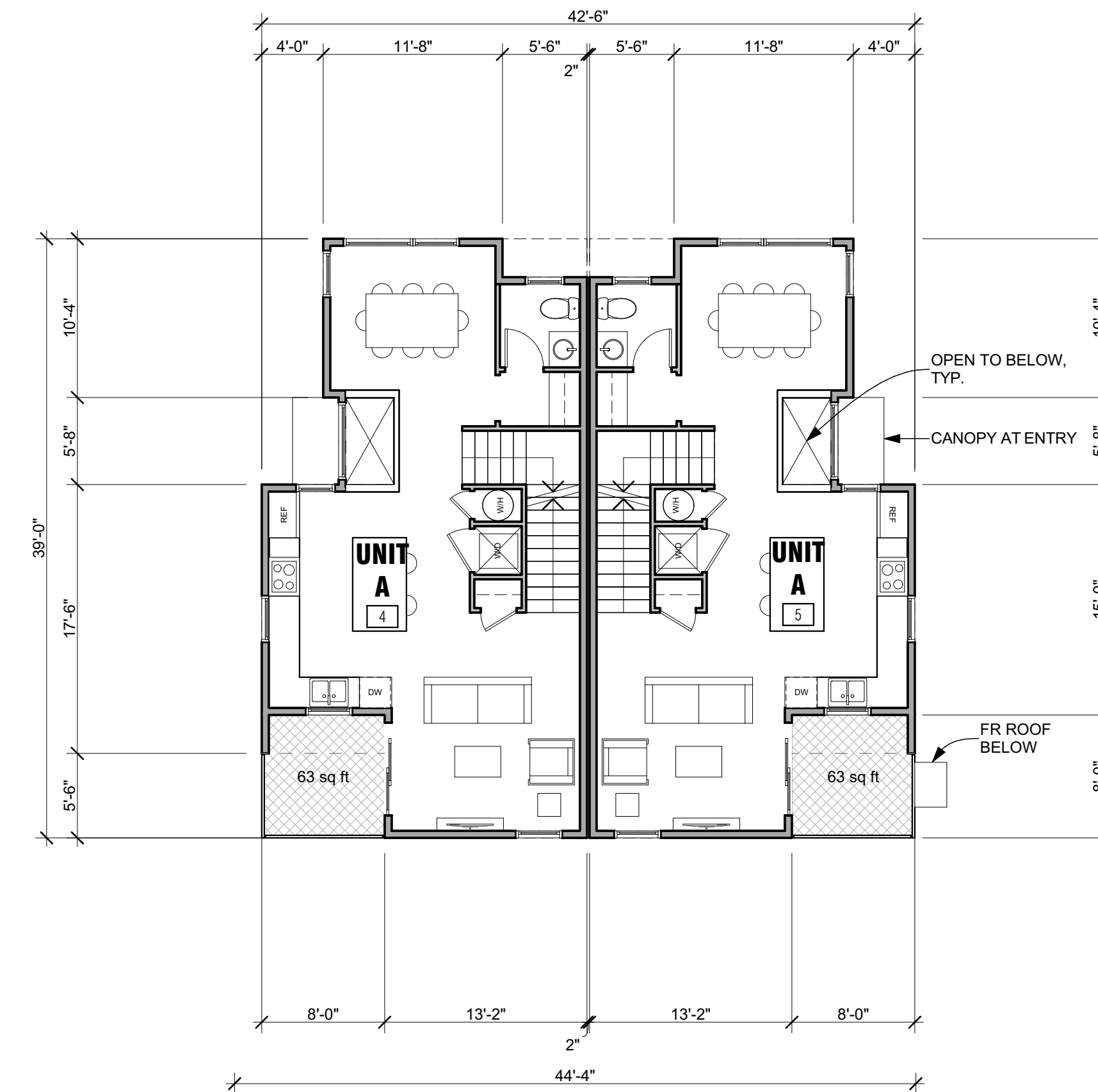
job no. **2134**
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

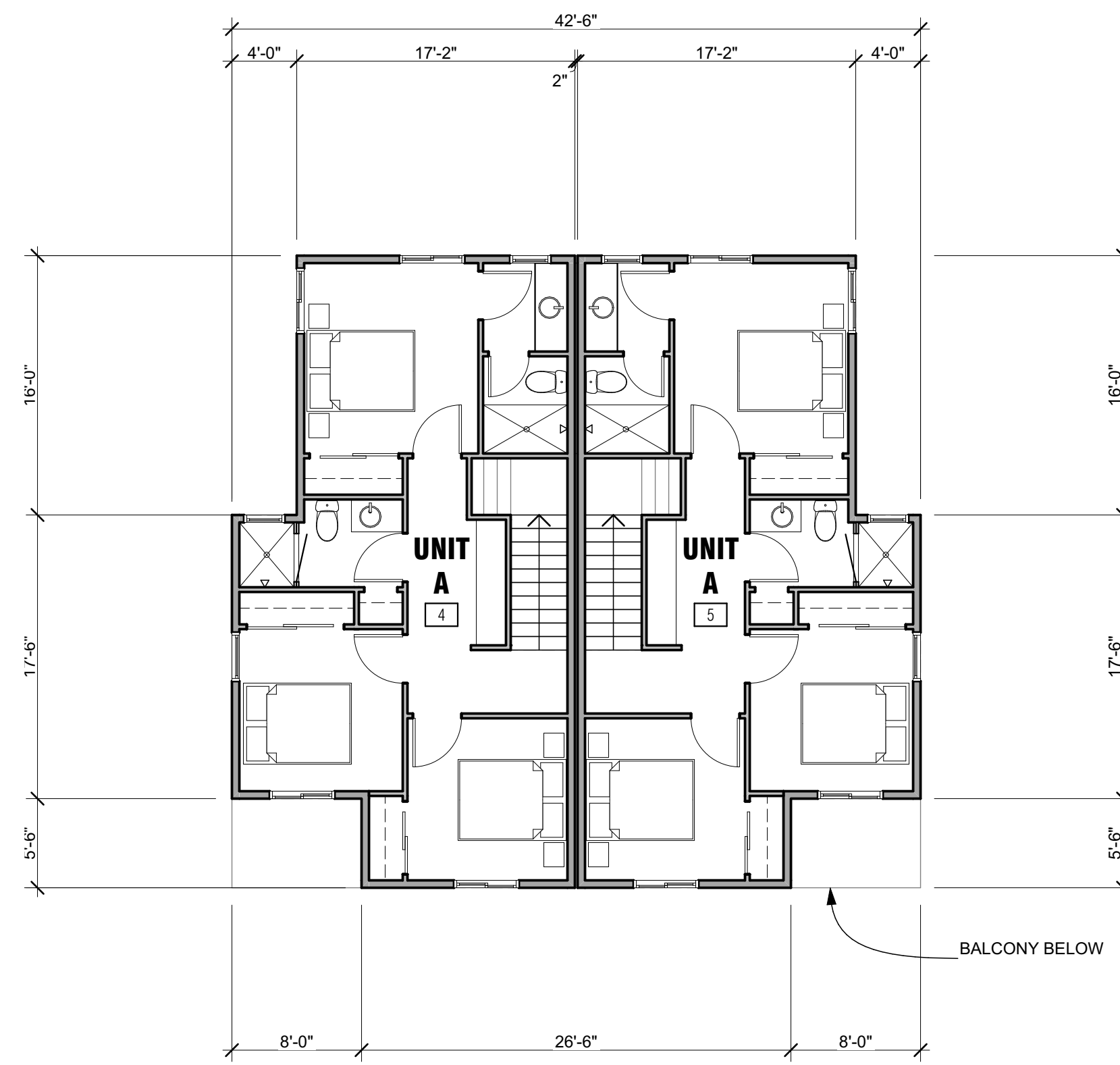
sheet
A1.3-1



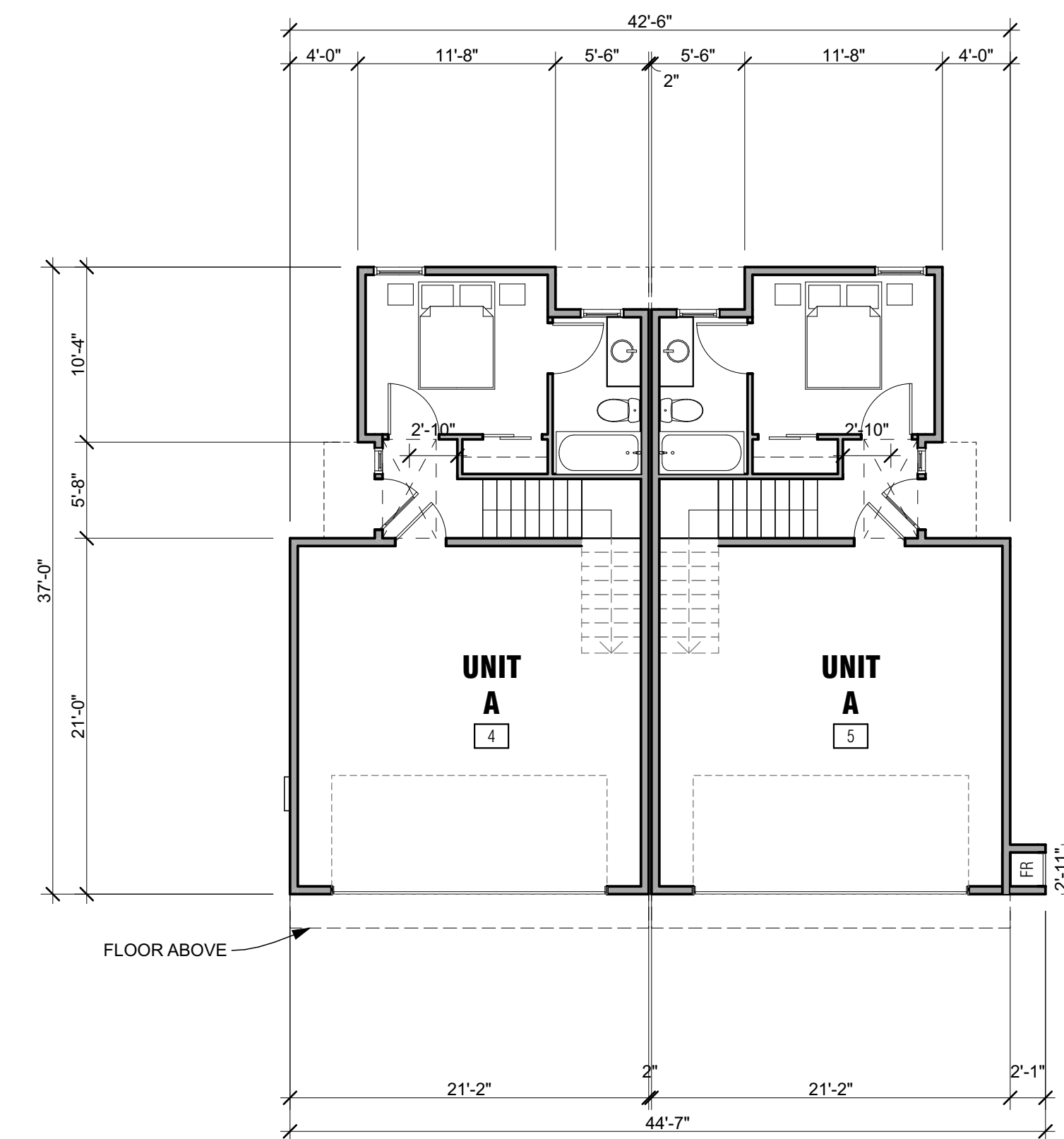
4 BUILDING 2 - ROOF PLAN
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - 2ND FLOOR
SCALE: 1/8" = 1'-0"



3 BUILDING 2 - 3RD FLOOR
SCALE: 1/8" = 1'-0"



1 BUILDING 2 - 1ST FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

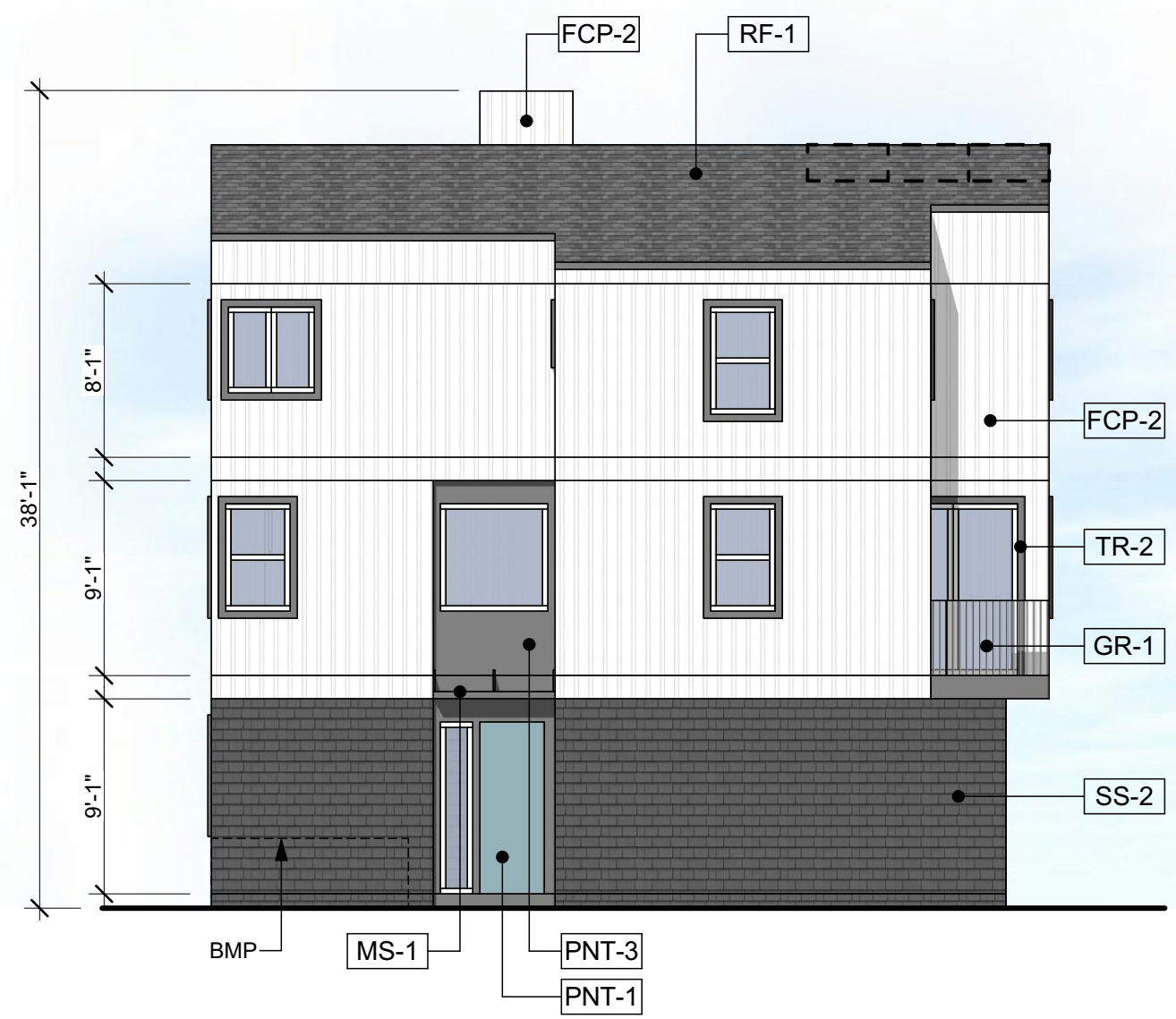


Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

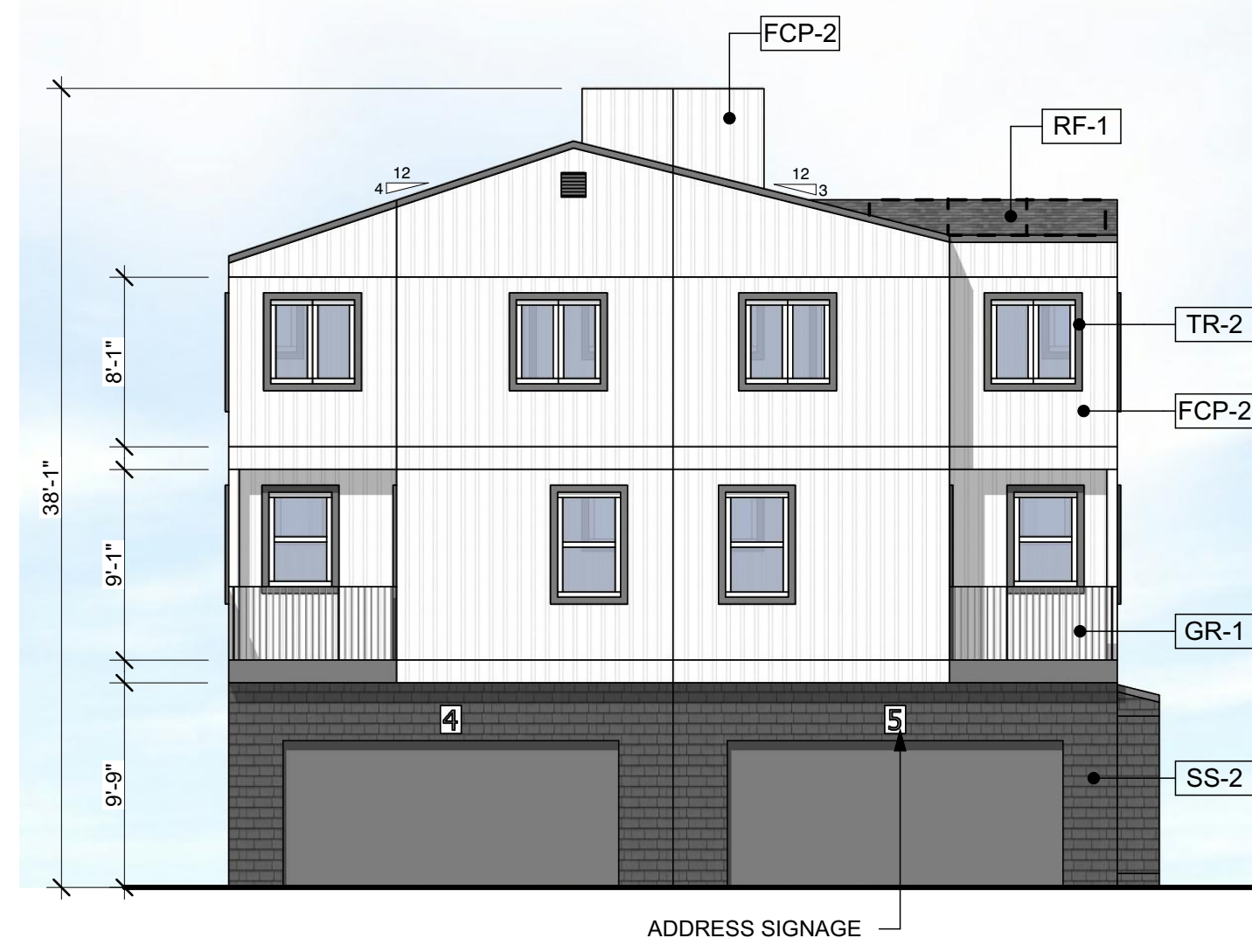
sda ARCHITECTS

Job no. **2134**
date
8/17/2022 PRE APPLICATION SET
2/25/2023 DRP SUBMITTAL I
6/13/2023 DRP SUBMITTAL II

sheet **A2.2-1**



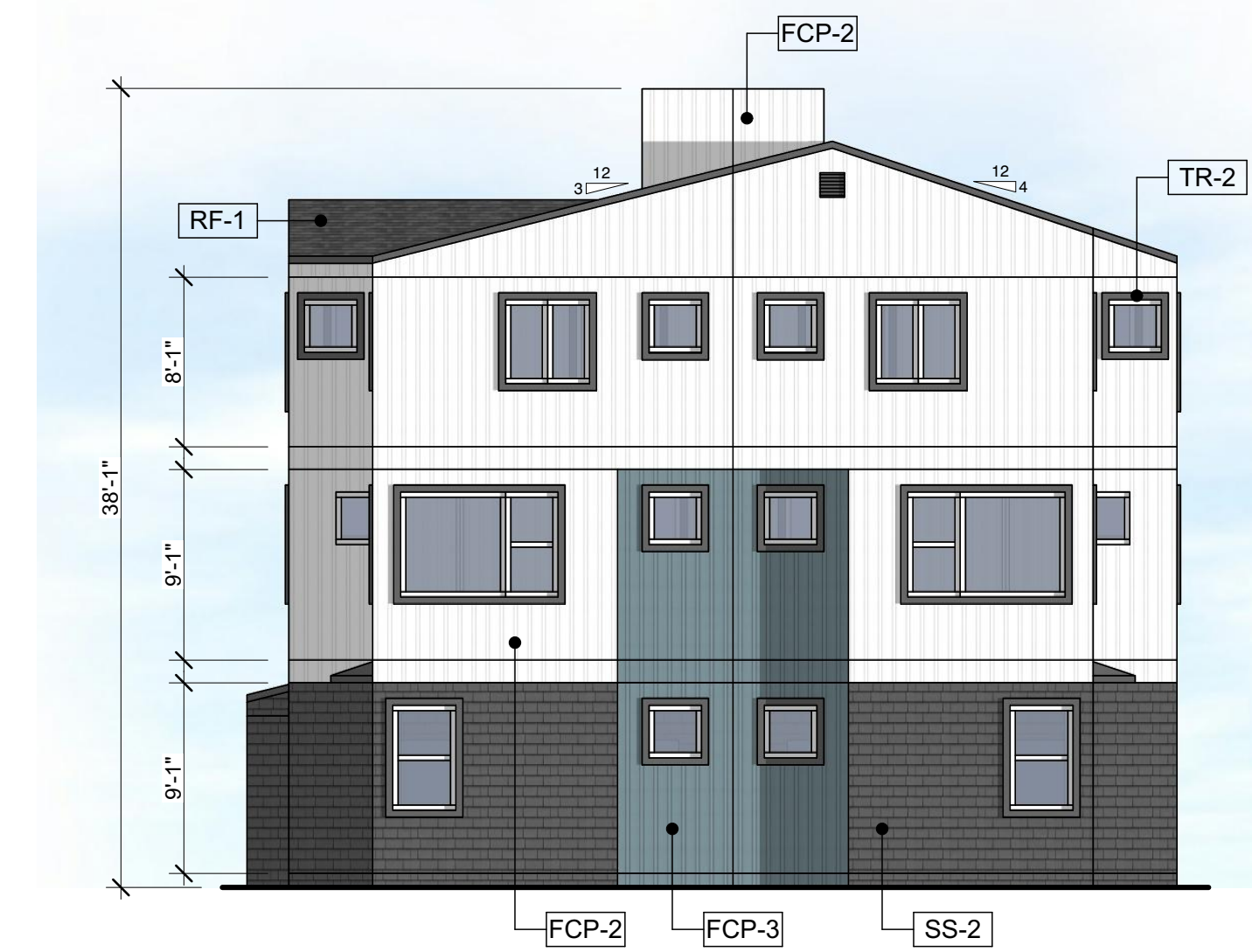
BUILDING 2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - SOUTHEAST PERSPECTIVE

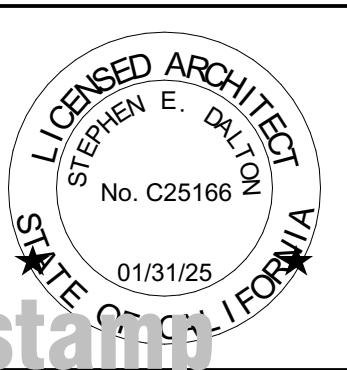


BUILDING 2 - NORTHEAST PERSPECTIVE

EXT. FINISH SCHEDULE

FCP-1	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BEESWAX (DE5242)
FCP-2	VERTICAL JAMES HARDIE PANEL, COLOR: ARTIC WHITE
FCP-3	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS STONE SILVER (DE5773)
FCP-4	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
FCP-5	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS TROPICAL MOSS (DE5486)
SS-1	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, COLOR: ARTIC WHITE
SS-2	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
TR-1	TRIM, HARDIETRIM 5/4 SMOOTH, COLOR: ARTIC WHITE
TR-2	TRIM, HARDIETRIM 5/4 SMOOTH, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
RF-1	ASPHALT SHINGLES, OWENS CORNING COOL ROOF COLLECTION, COLOR: SIERRA GRAY
PNT-1	EXTERIOR FLAT, DUNN EDWARDS STONE SILVER (DE5773)
PNT-2	EXTERIOR FLAT, DUNN EDWARDS TROPICAL MOSS (DE5486)
PNT-3	EXTERIOR FLAT, DUNN EDWARDS BOAT ANCHOR (DE6377)
GR-1	---
MS-1	METAL SHADE
MS-2	METAL AWNING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

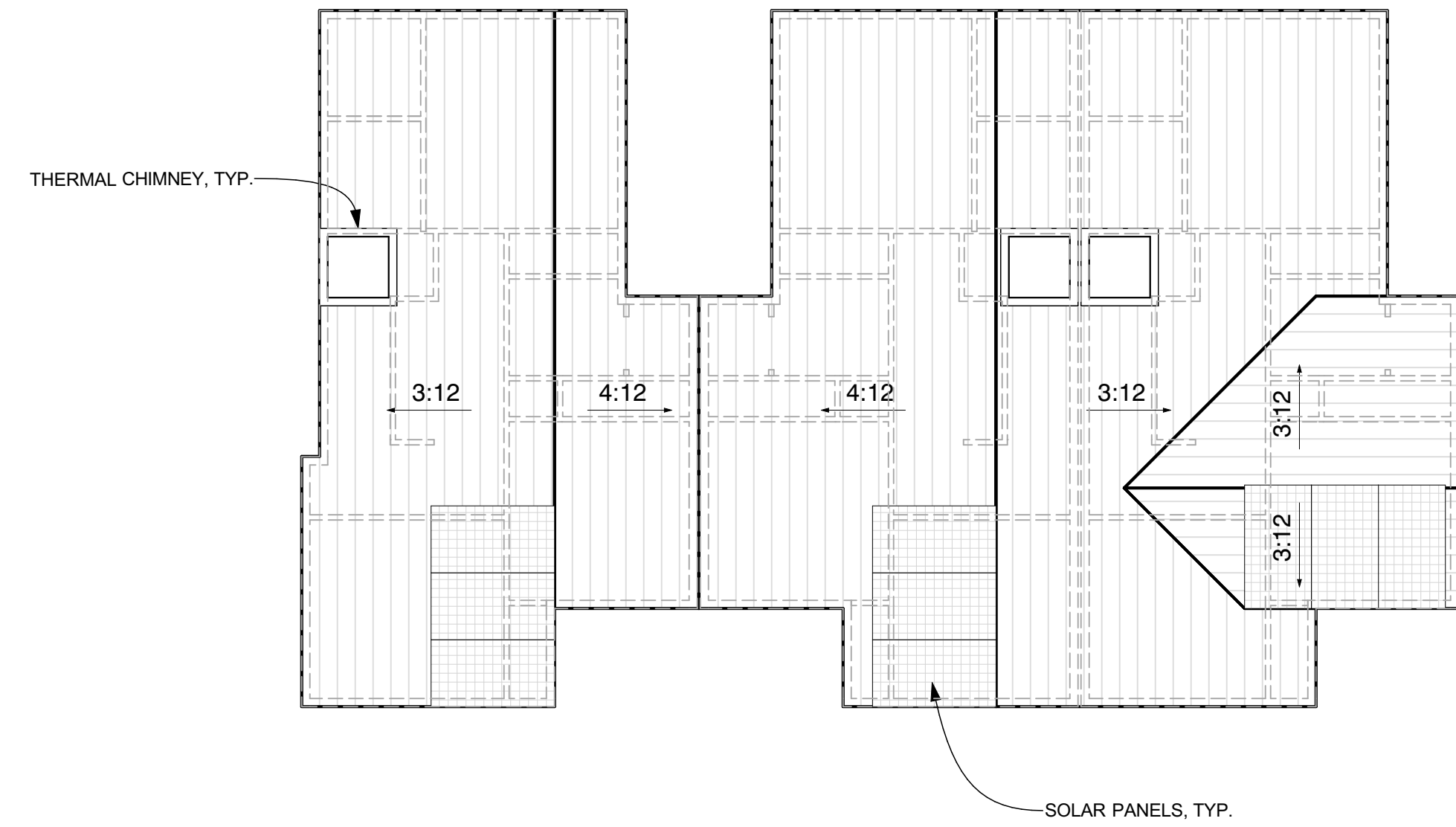


BUILDING 2 ELEVATIONS - PERSPECTIVES
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

job no. **2134**
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

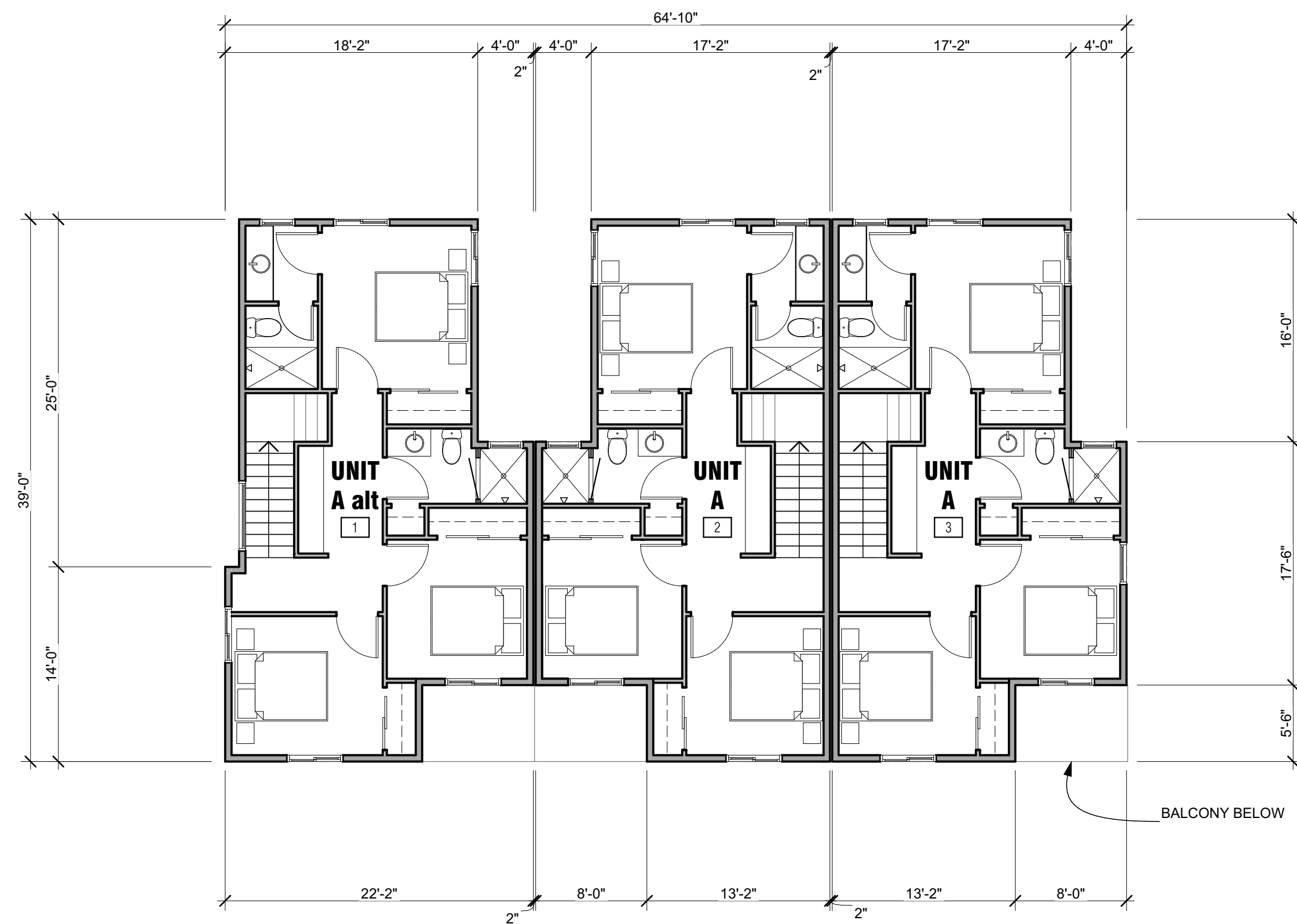
sheet
A2.3-1



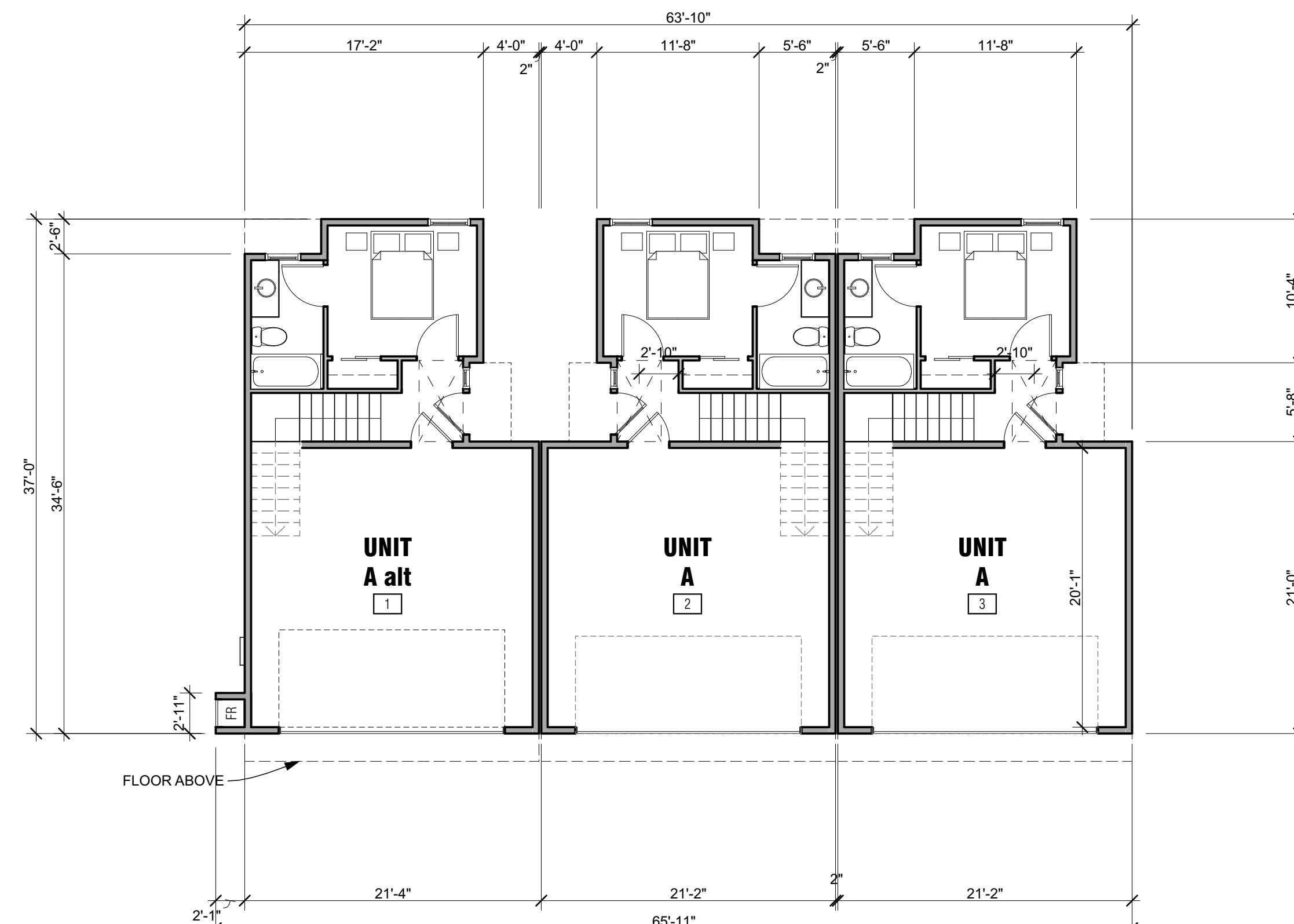
4 BUILDING 3 -ROOF PLAN
SCALE: 1/8" = 1'-0"



2 BUILDING 3 -2ND FLOOR
SCALE: 1/8" = 1'-0"



3 BUILDING 3 -3RD FLOOR
SCALE: 1/8" = 1'-0"

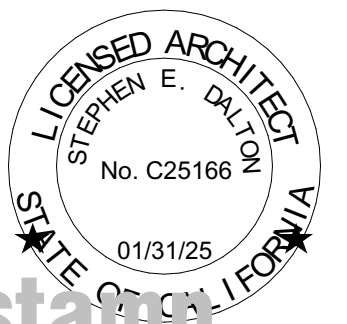


1 BUILDING 3 -1ST FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

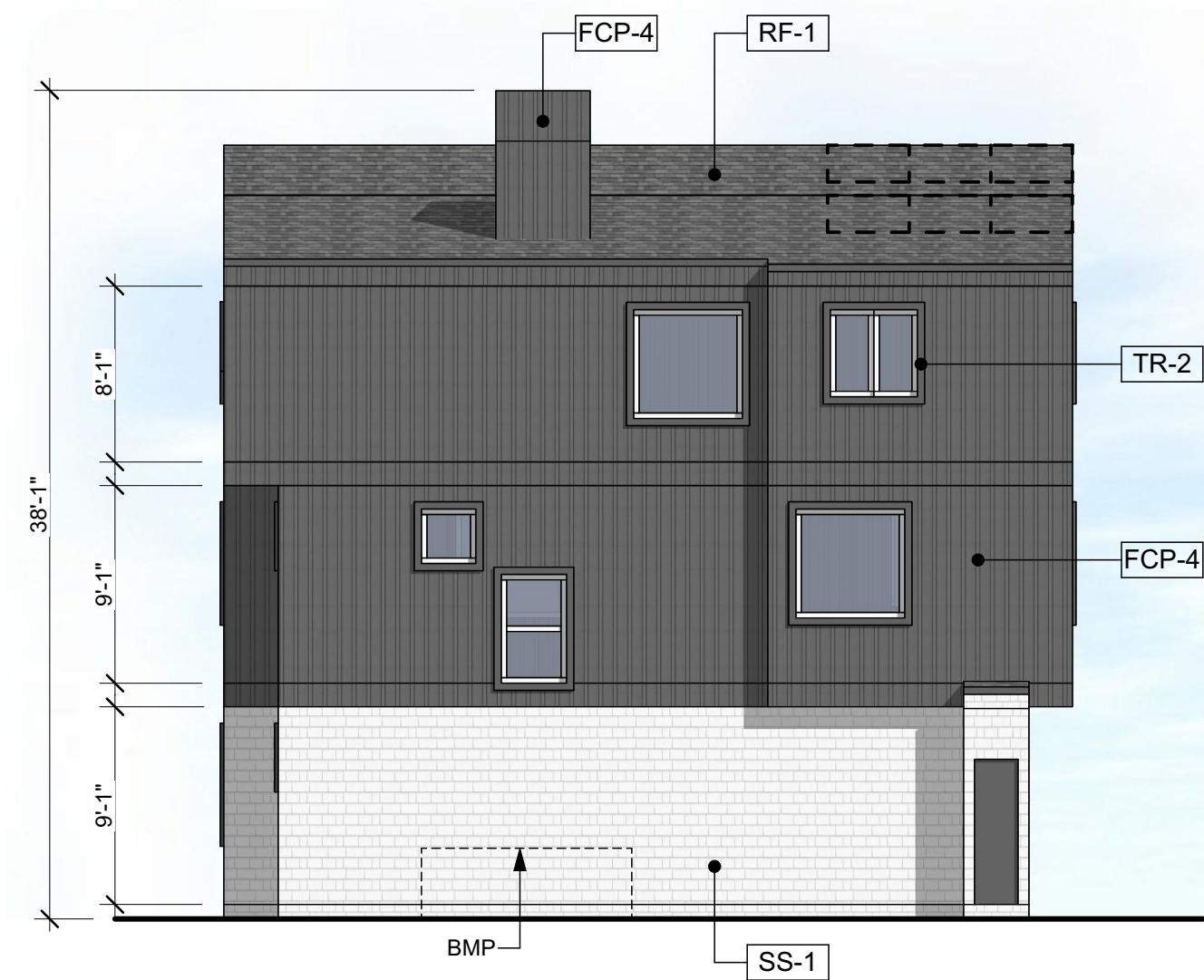


Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

BUILDING 3 - FLOOR PLANS
sda ARCHITECTS

job no. **2134**
date
8/17/2022 PRE APPLICATION SET
2/25/2023 DRP SUBMITTAL I
6/13/2023 DRP SUBMITTAL II

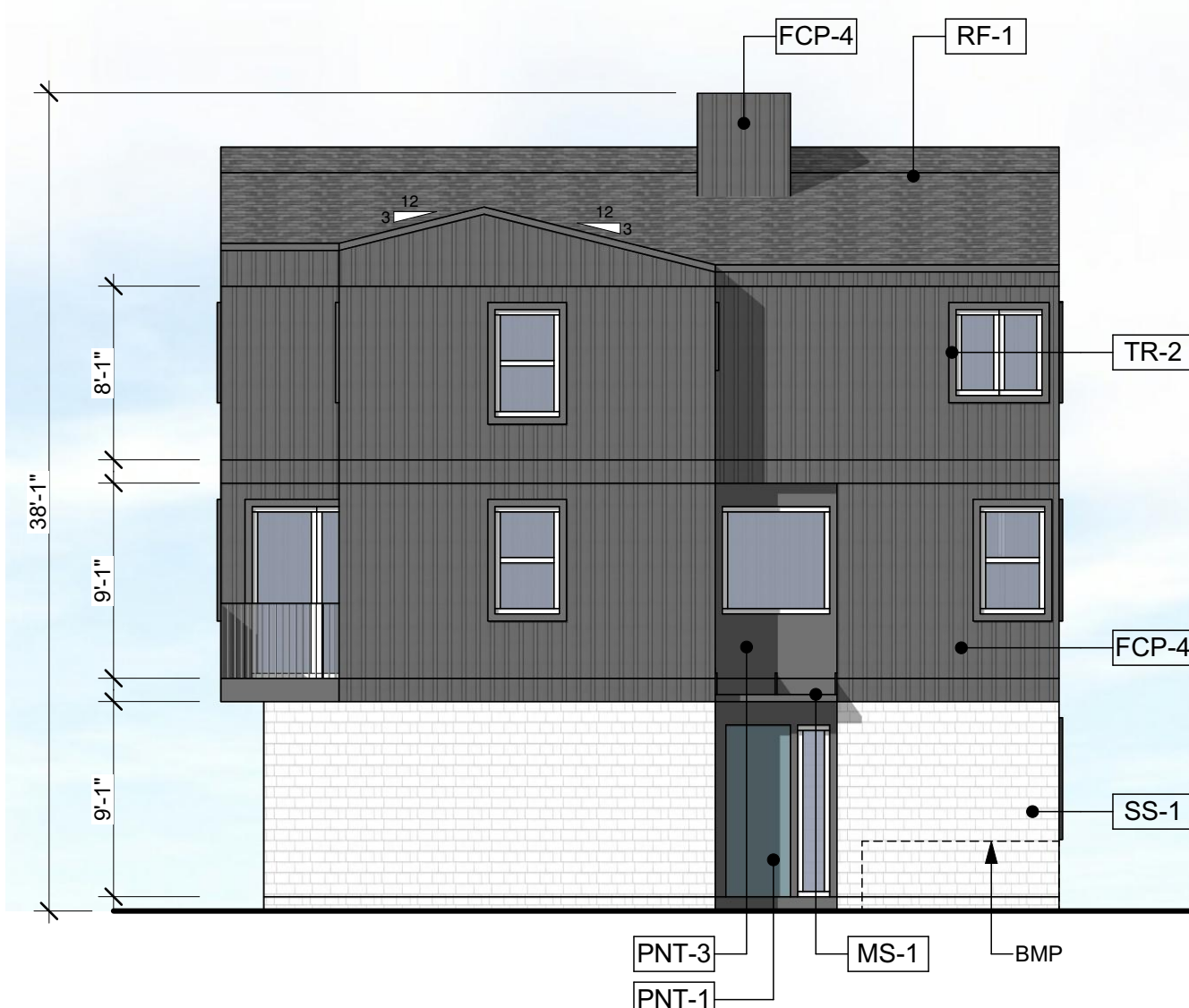
sheet **A3.2-1**



BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - SOUTHEAST PERSPECTIVE

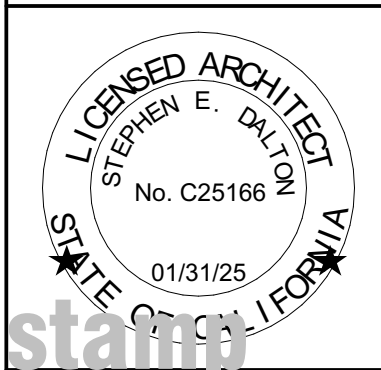


BUILDING 3 - NORTHEAST PERSPECTIVE

EXT. FINISH SCHEDULE

FCP-1	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BEESWAX (DE5242)
FCP-2	VERTICAL JAMES HARDIE PANEL, COLOR: ARTIC WHITE
FCP-3	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS STONE SILVER (DE5773)
FCP-4	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
FCP-5	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS TROPICAL MOSS (DE5486)
SS-1	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, COLOR: ARTIC WHITE
SS-2	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
TR-1	TRIM, HARDIETRIM 5/4 SMOOTH, COLOR: ARTIC WHITE
TR-2	TRIM, HARDIETRIM 5/4 SMOOTH, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
RF-1	ASPHALT SHINGLES, OWENS CORNING COOL ROOF COLLECTION, COLOR: SIERRA GRAY
PNT-1	EXTERIOR FLAT, DUNN EDWARDS STONE SILVER (DE5773)
PNT-2	EXTERIOR FLAT, DUNN EDWARDS TROPICAL MOSS (DE5486)
PNT-3	EXTERIOR FLAT, DUNN EDWARDS BOAT ANCHOR (DE6377)
GR-1	---
MS-1	METAL SHADE
MS-2	METAL AWNING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

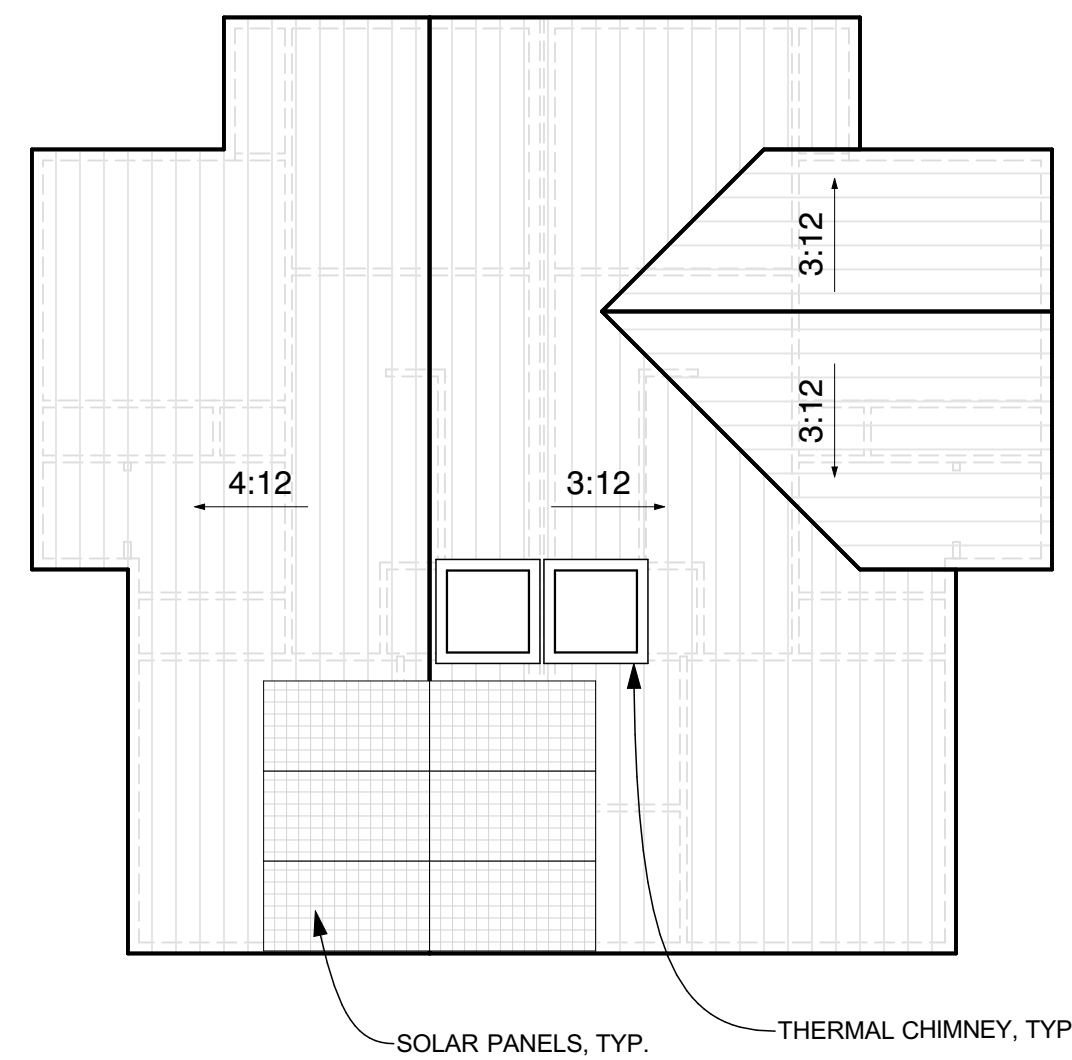


stamp
BUILDING 3 ELEVATIONS - PERSPECTIVES
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916
ARCHITECTS

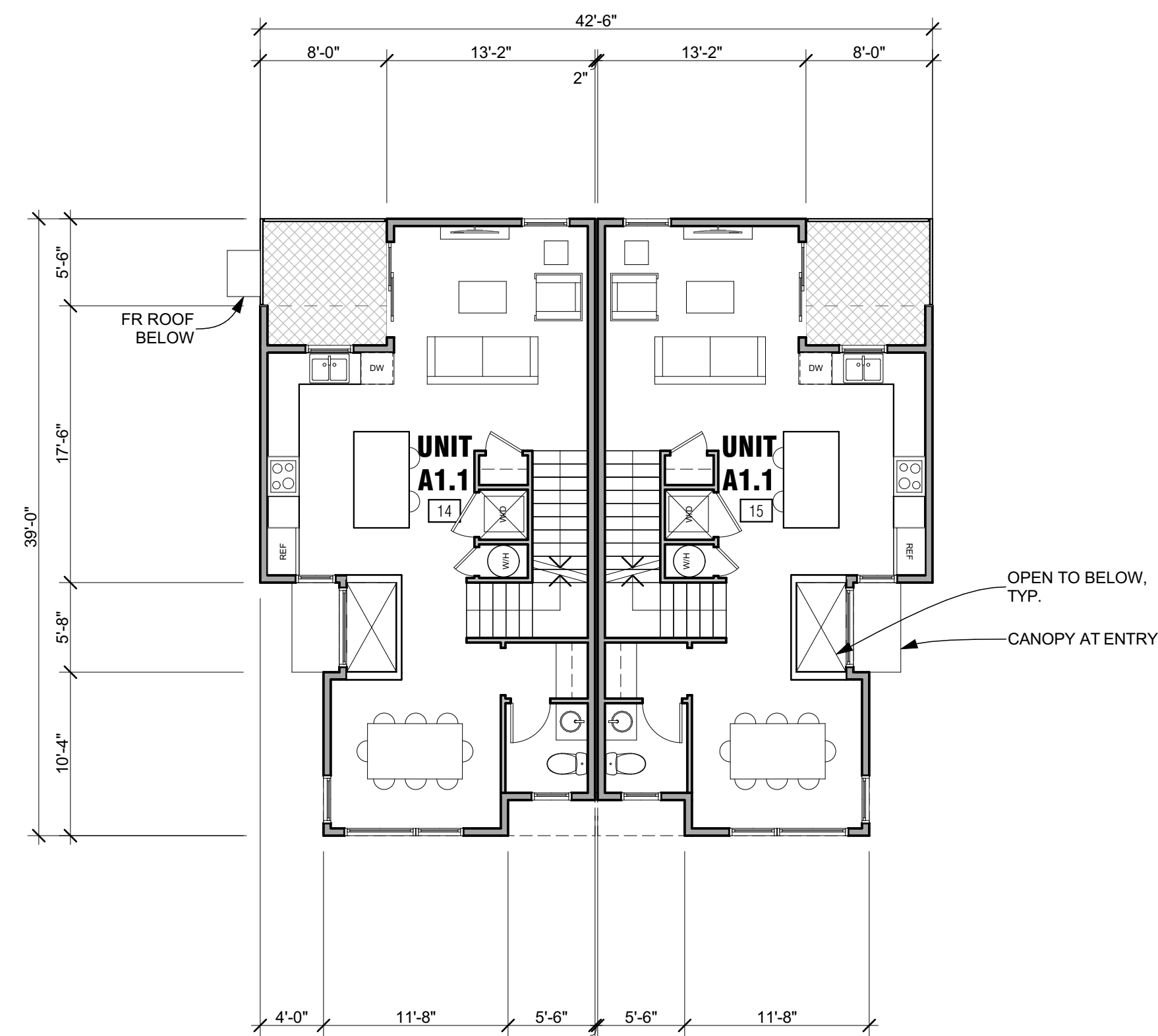
job no. **2134**
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

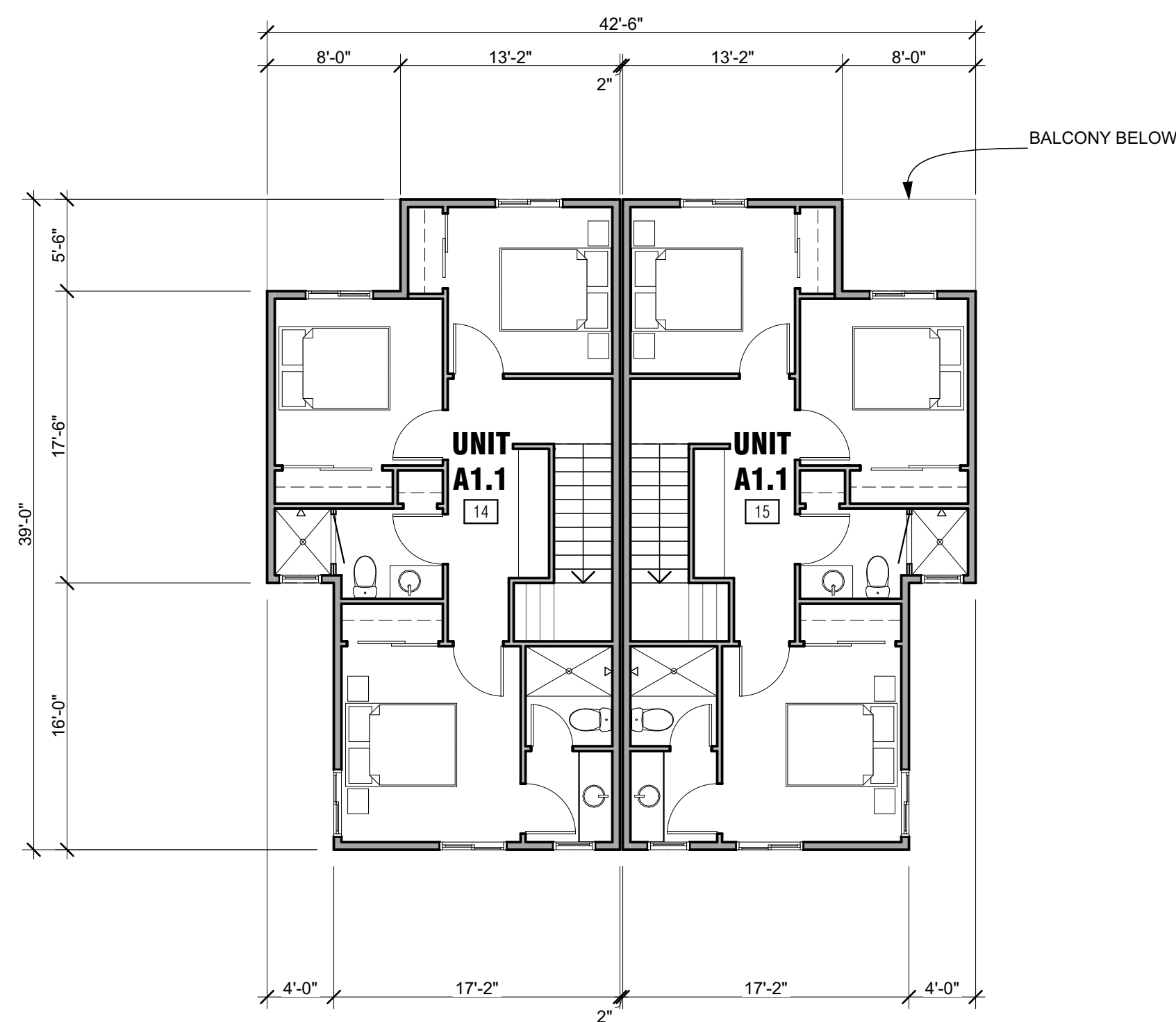
sheet
A3.3-1



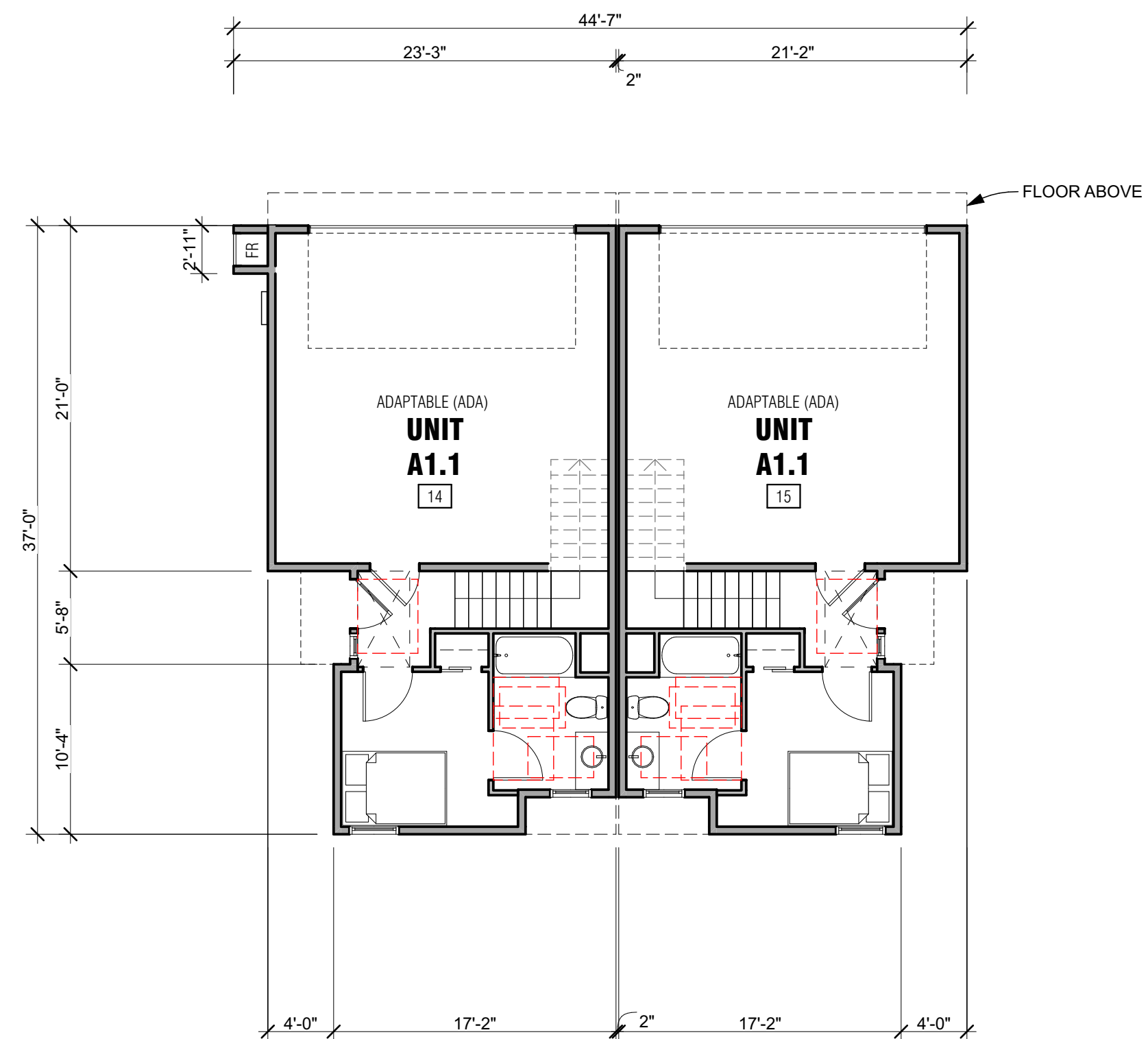
4 BUILDING 2&4 - ROOF PLAN
SCALE: 1/8" = 1'-0"



2 BUILDING 4 - 2ND FLOOR
SCALE: 1/8" = 1'-0"



3 BUILDING 4 - 3RD FLOOR
SCALE: 1/8" = 1'-0"

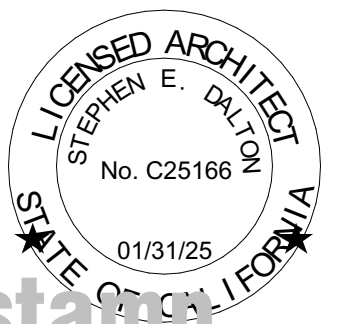


1 BUILDING 4 - 1ST FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sda ARCHITECTS

job no. 2134

date

8/17/2022	PRE APPLICATION SET
2/25/2023	DRP SUBMITTAL I
6/13/2023	DRP SUBMITTAL II

sheet A4. 2-1



BUILDING 4 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - NORTHWEST PERSPECTIVE

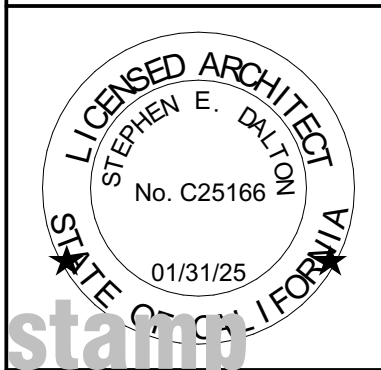


BUILDING 4 - SOUTHWEST PERSPECTIVE

EXT. FINISH SCHEDULE

FCP-1	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BEESWAX (DE5242)
FCP-2	VERTICAL JAMES HARDIE PANEL, COLOR: ARTIC WHITE
FCP-3	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS STONE SILVER (DE5773)
FCP-4	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
FCP-5	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS TROPICAL MOSS (DE5486)
SS-1	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, COLOR: ARTIC WHITE
SS-2	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
TR-1	TRIM, HARDIETRIM 5/4 SMOOTH, COLOR: ARTIC WHITE
TR-2	TRIM, HARDIETRIM 5/4 SMOOTH, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
RF-1	ASPHALT SHINGLES, OWENS CORNING COOL ROOF COLLECTION, COLOR: SIERRA GRAY
PNT-1	EXTERIOR FLAT, DUNN EDWARDS STONE SILVER (DE5773)
PNT-2	EXTERIOR FLAT, DUNN EDWARDS TROPICAL MOSS (DE5486)
PNT-3	EXTERIOR FLAT, DUNN EDWARDS BOAT ANCHOR (DE6377)
GR-1	---
MS-1	METAL SHADE
MS-2	METAL AWNING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071

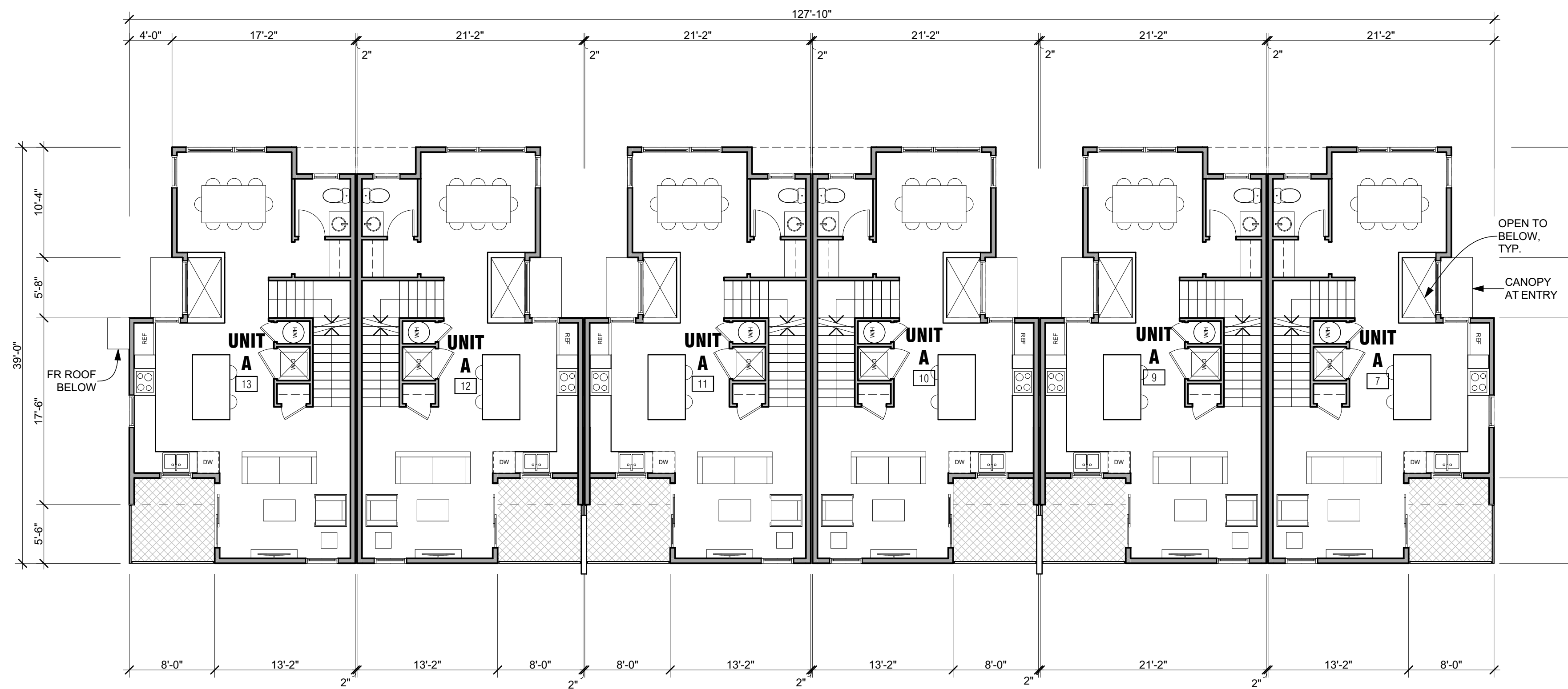


stamp
BUILDING 4 ELEVATIONS - PERSPECTIVES
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

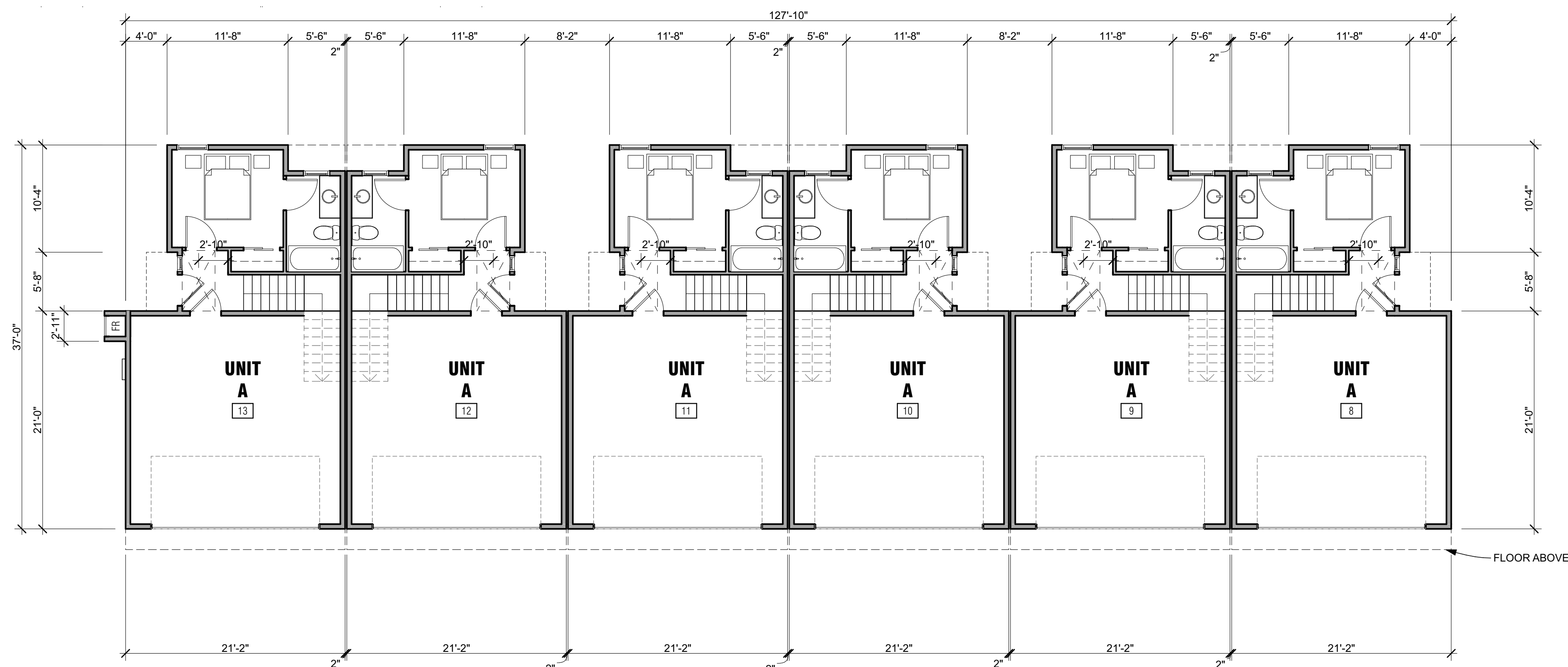
job no. **2134**
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

sheet
A4. 3-2



2 BUILDING 5 -2ND FLOOR
SCALE: 1/8" = 1'-0"

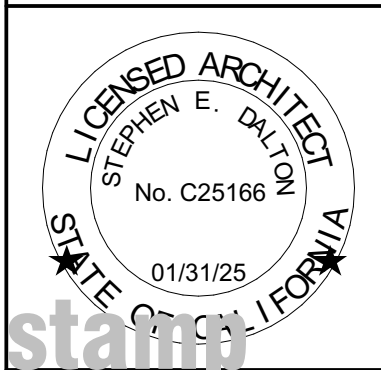


1 BUILDING 5 -1ST FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



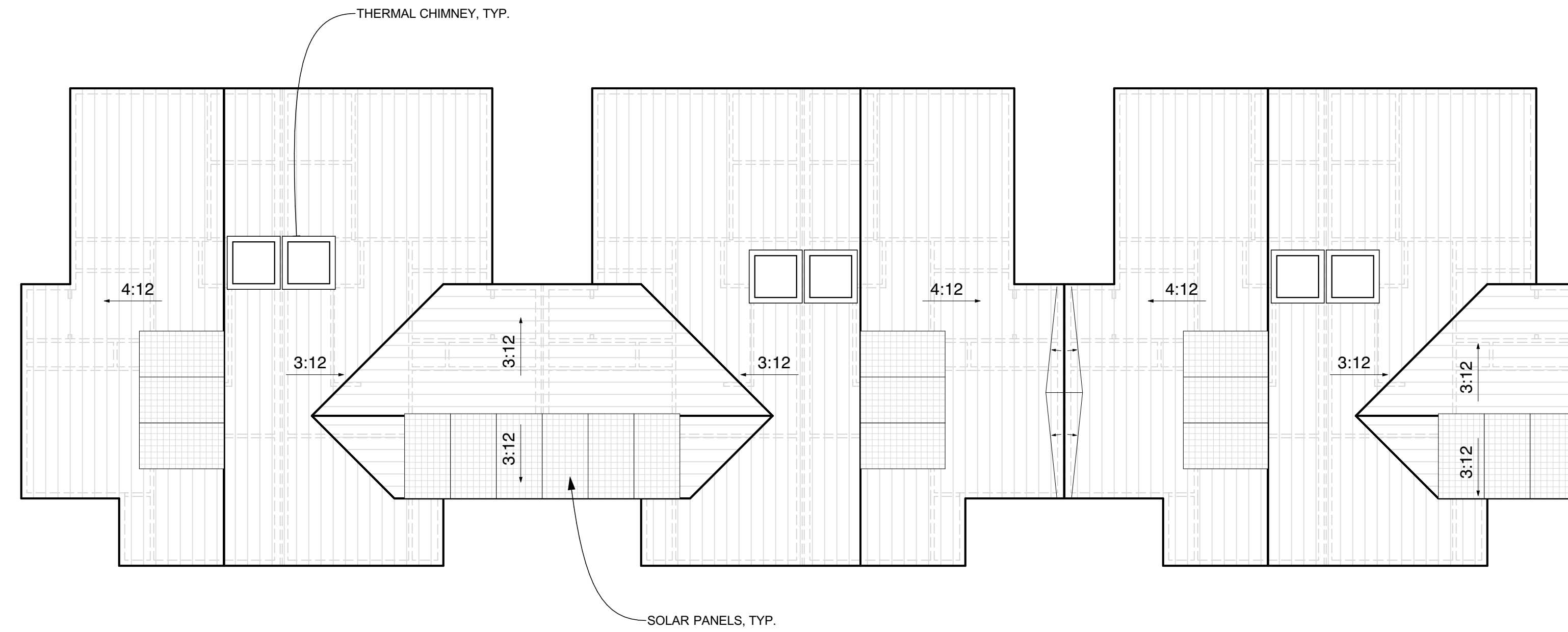
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sd
ARCHITECTS

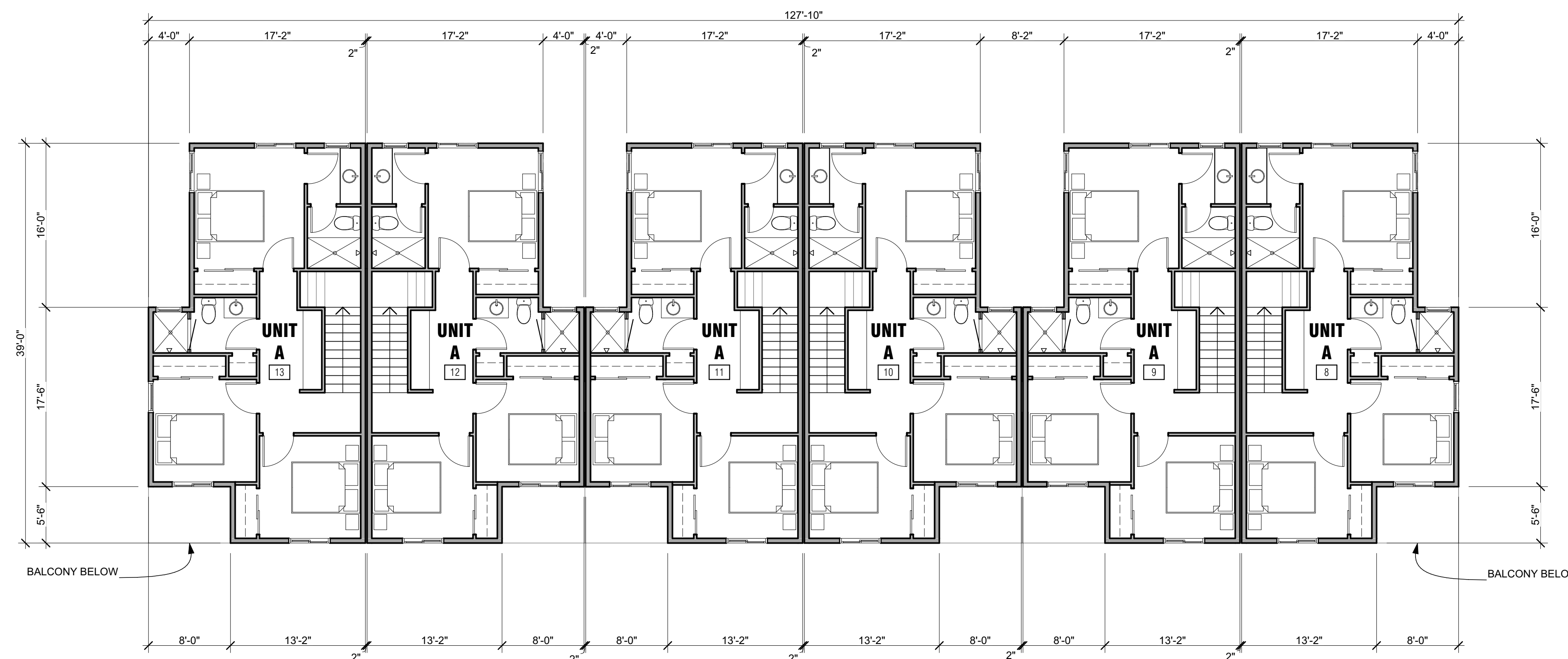
job no. **2134**
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

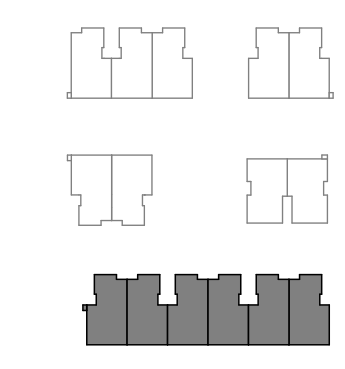
sheet
A5.2-1



2 BUILDING 5 - ROOF PLAN
SCALE: 1/8" = 1'-0"



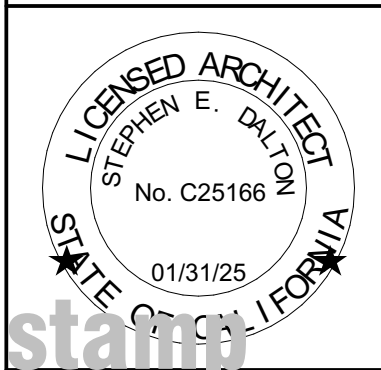
1 BUILDING 5 - 3RD FLOOR
SCALE: 1/8" = 1'-0"



WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



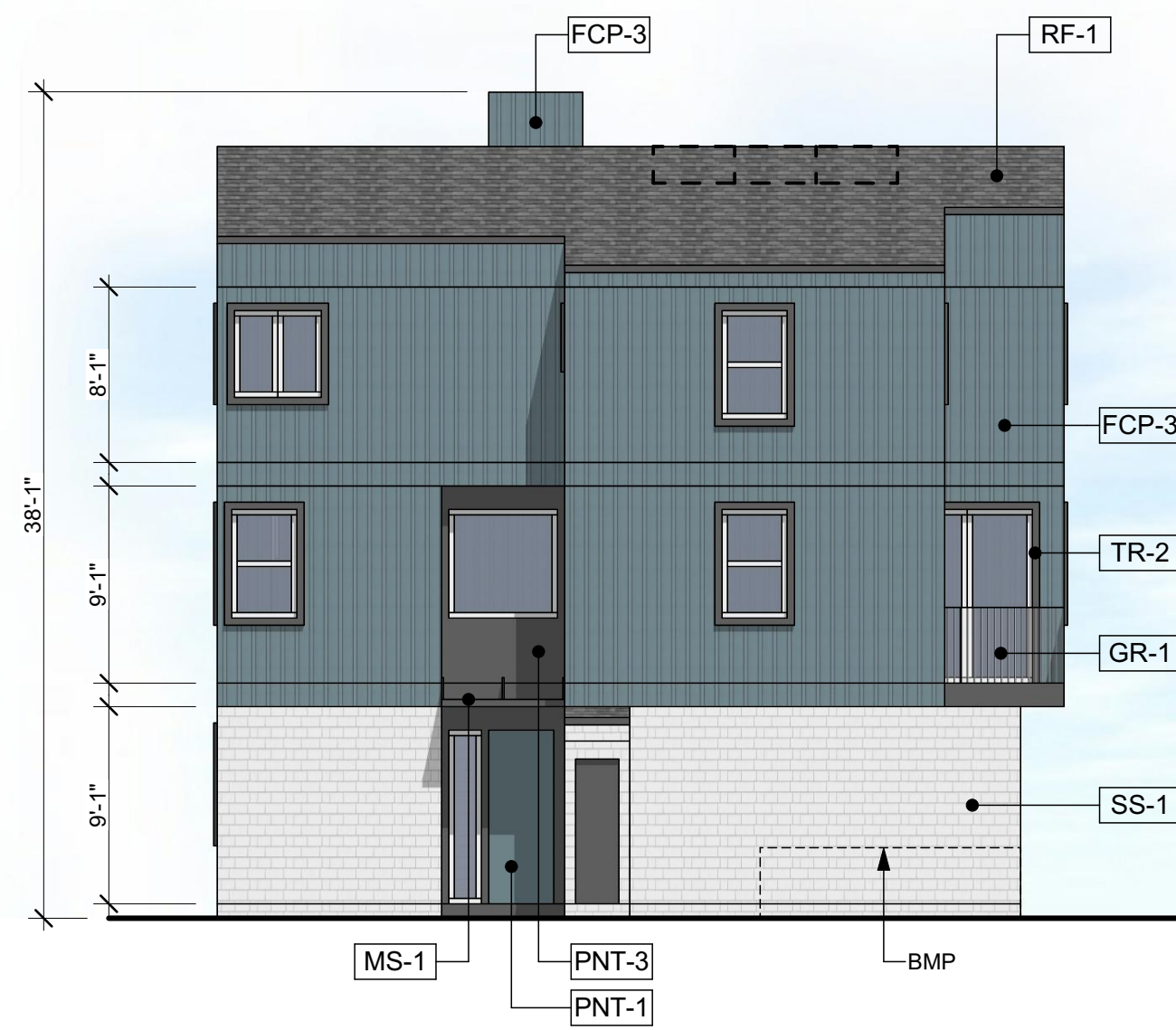
stamp
BUILDING 5 - FLOOR PLAN / ROOF PLAN
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



job no.
2134
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

sheet
A5.2-2



BUILDING 5 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 5 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 5 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

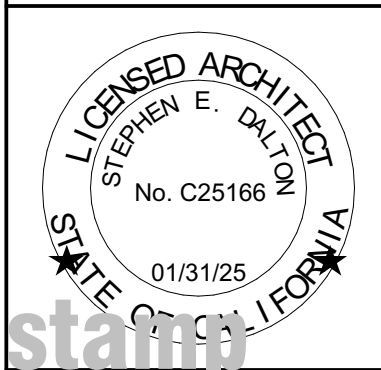


BUILDING 5 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE

FCP-1	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BEESWAX (DE5242)
FCP-2	VERTICAL JAMES HARDIE PANEL, COLOR: ARTIC WHITE
FCP-3	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS STONE SILVER (DE5773)
FCP-4	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
FCP-5	VERTICAL JAMES HARDIE PANEL, PAINTED: DUNN EDWARDS TROPICAL MOSS (DE5486)
SS-1	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, COLOR: ARTIC WHITE
SS-2	SHINGLE SIDING, HARDIESHINGLE, STRAIGHT EDGE PANEL, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
TR-1	TRIM, HARDIETRIM 5/4 SMOOTH, COLOR: ARTIC WHITE
TR-2	TRIM, HARDIETRIM 5/4 SMOOTH, PAINTED: DUNN EDWARDS BOAT ANCHOR (DE6377)
RF-1	ASPHALT SHINGLES, OWENS CORNING COOL ROOF COLLECTION, COLOR: SIERRA GRAY
PNT-1	EXTERIOR FLAT, DUNN EDWARDS STONE SILVER (DE5773)
PNT-2	EXTERIOR FLAT, DUNN EDWARDS TROPICAL MOSS (DE5486)
PNT-3	EXTERIOR FLAT, DUNN EDWARDS BOAT ANCHOR (DE6377)
GR-1	---
MS-1	METAL SHADE
MS-2	METAL AWNING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

stephen dalton
ARCHITECTS

job no. **2134**
date

8/17/2022
PRE APPLICATION SET

2/25/2023
DRP SUBMITTAL I

6/13/2023
DRP SUBMITTAL II

sheet
A5.3-1

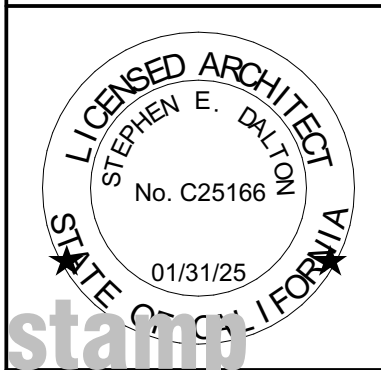


BUILDING 5 - SOUTHEAST PERSPECTIVE



BUILDING 5 - NORTHEAST PERSPECTIVE

project title
HABITAT SANTEE
 8932 1ST ST. SANTEE, CA 92071



stamp
 BUILDING 5 - PERSPECTIVE
 Stephen Dalton Architects
 444 S. CEDROS, STUDIO 190
 SOLANA BEACH, CA 92075
 t: 858.792.5906 / f: 858.792.5916

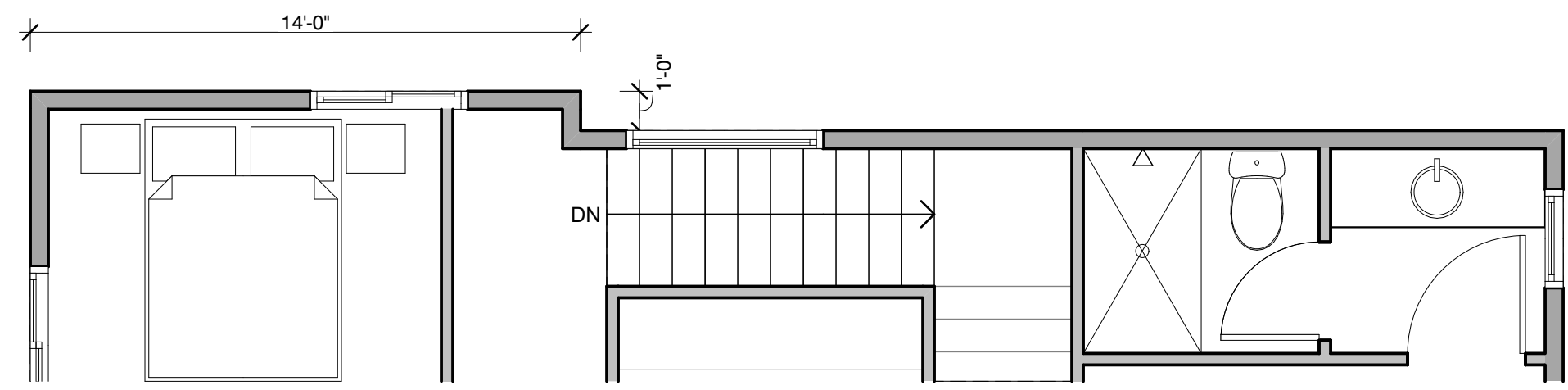


job no.
2134
 date

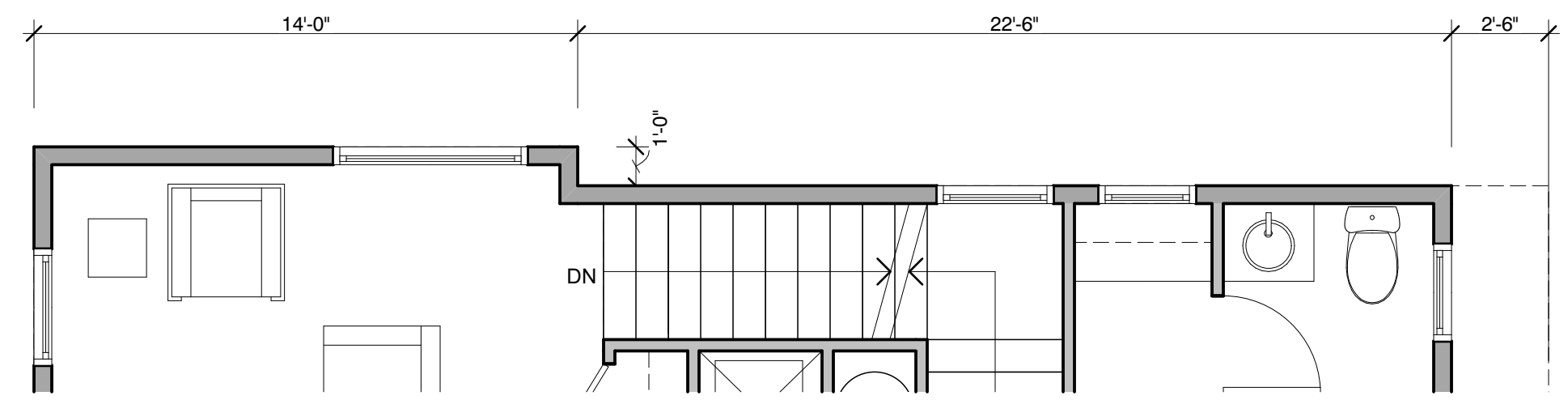
8/17/2022
 PRE APPLICATION SET
 2/25/2023
 DRP SUBMITTAL I
 6/13/2023
 DRP SUBMITTAL II

sheet
A5.3-2

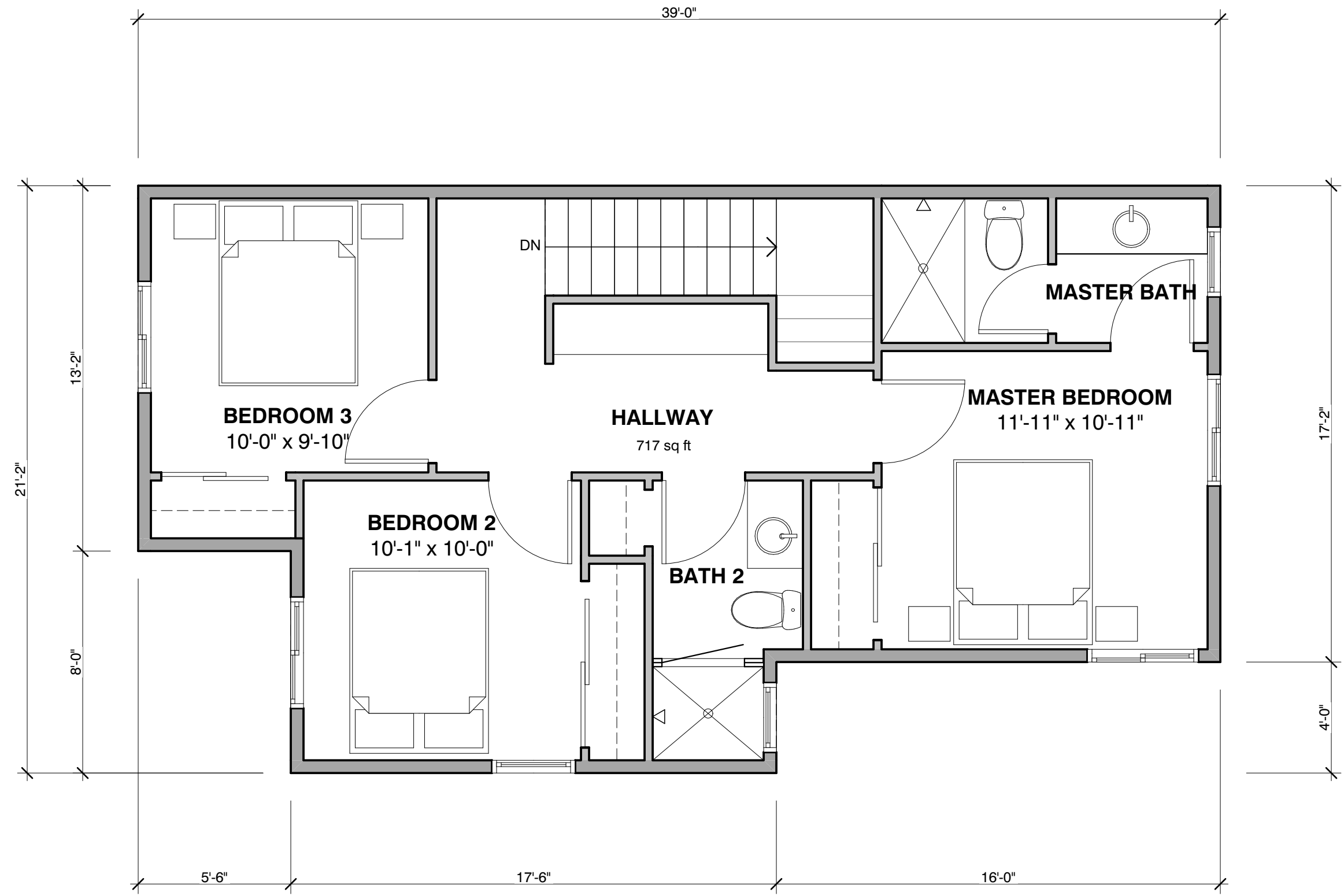
6 UNIT A alt - 3RD FLOOR
SCALE: 1/4" = 1'-0"



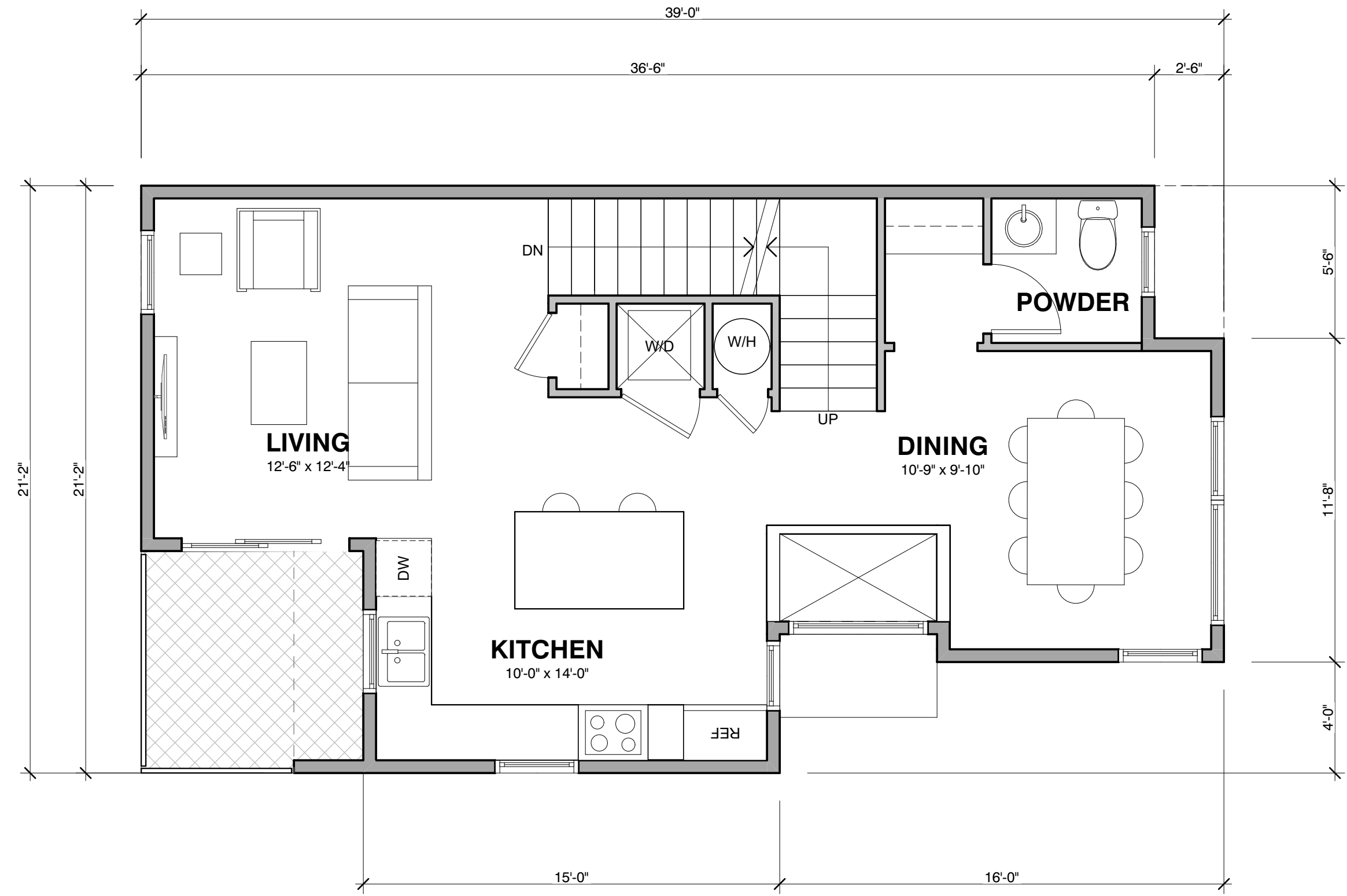
5 UNIT A alt - 2ND FLOOR
SCALE: 1/4" = 1'-0"



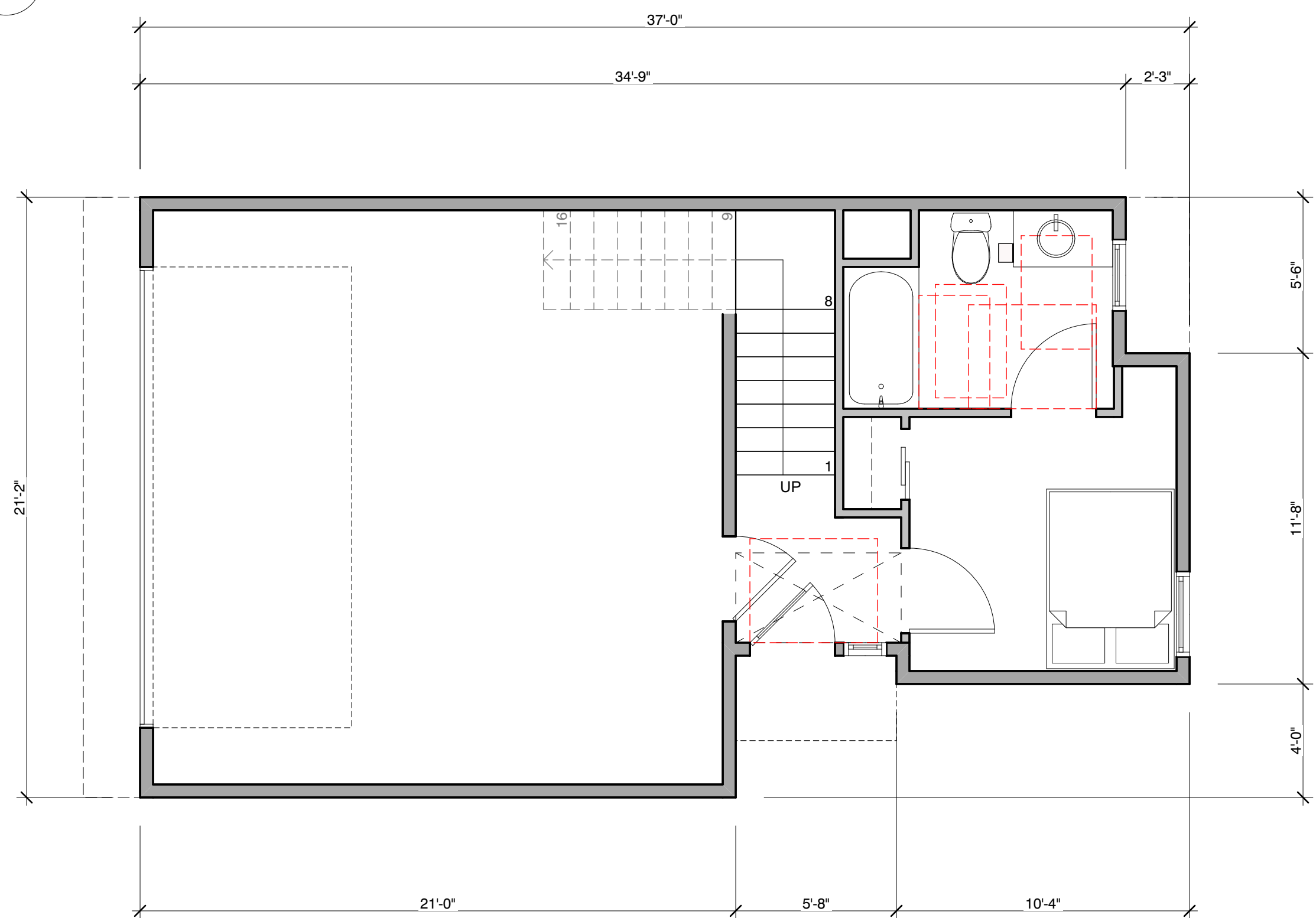
3 UNIT A - 3RD FLOOR
SCALE: 1/4" = 1'-0"



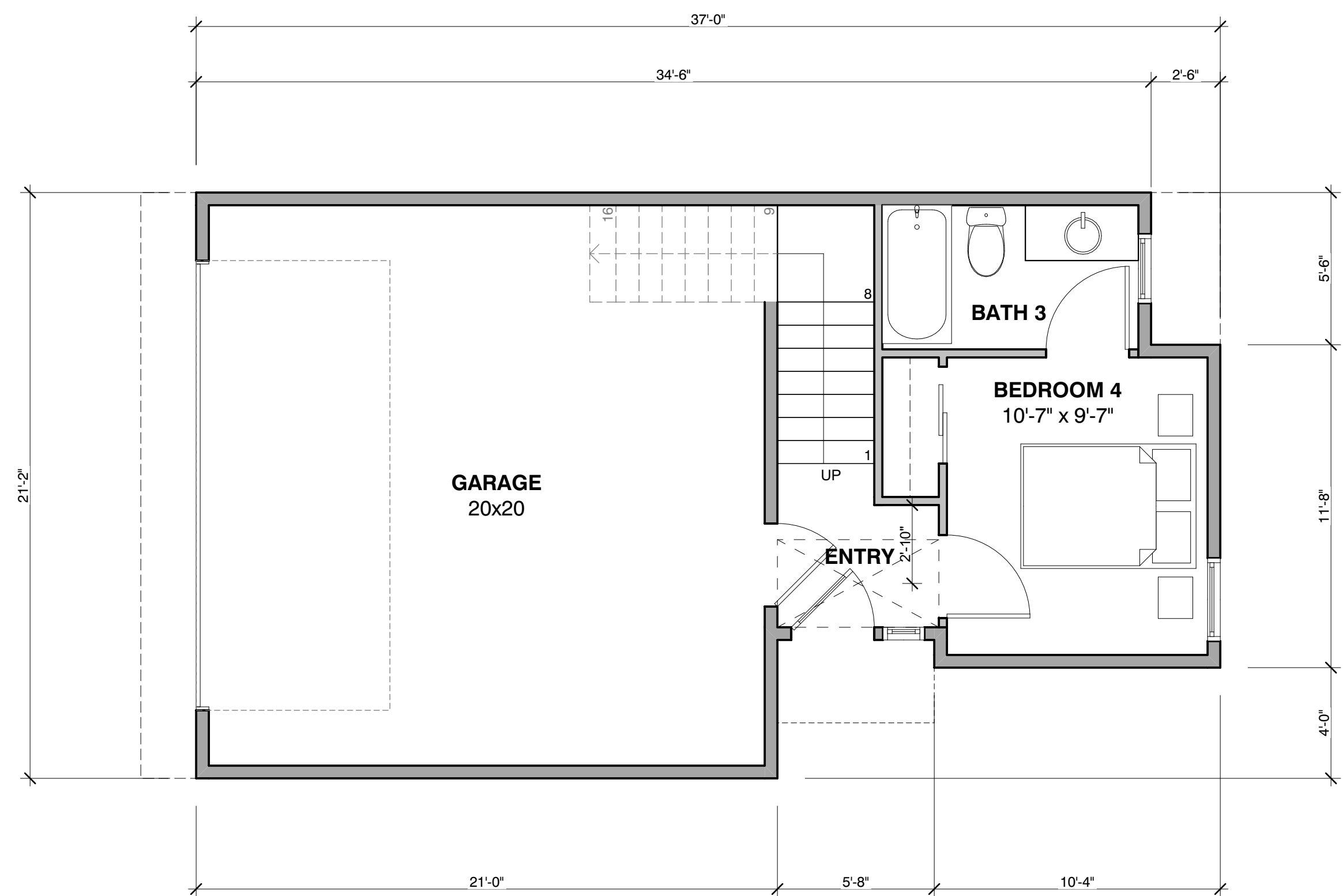
2 UNIT A - 2ND FLOOR
SCALE: 1/4" = 1'-0"



4 UNIT A1.1 - 1 ST FLOOR
SCALE: 1/4" = 1'-0"



1 UNIT A - 1ST FLOOR
SCALE: 1/4" = 1'-0"



UNIT A alt

THIRD FLOOR	731 SF
SECOND FLOOR	618 SF
FIRST FLOOR	263 SF
TOTAL	1612 SF

UNIT A1.1

THIRD FLOOR	717 SF
SECOND FLOOR	606 SF
FIRST FLOOR	264 SF
TOTAL	1587 SF

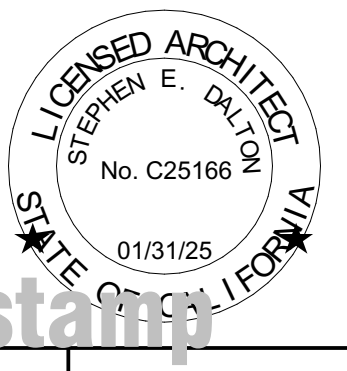
UNIT A

THIRD FLOOR	717 SF
SECOND FLOOR	604 SF
FIRST FLOOR	263 SF
TOTAL	1584 SF

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



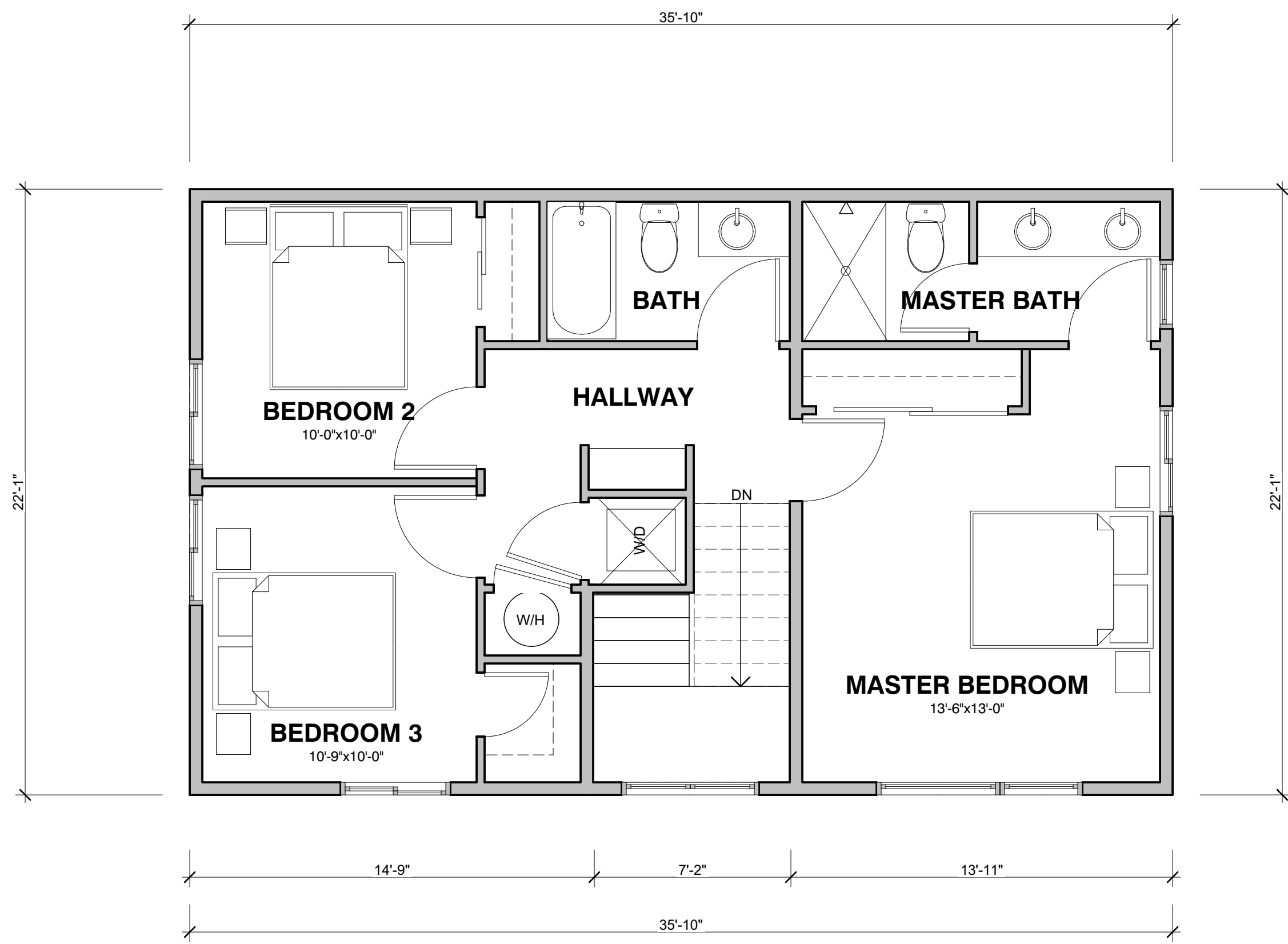
UNIT A FLOOR PLANS
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



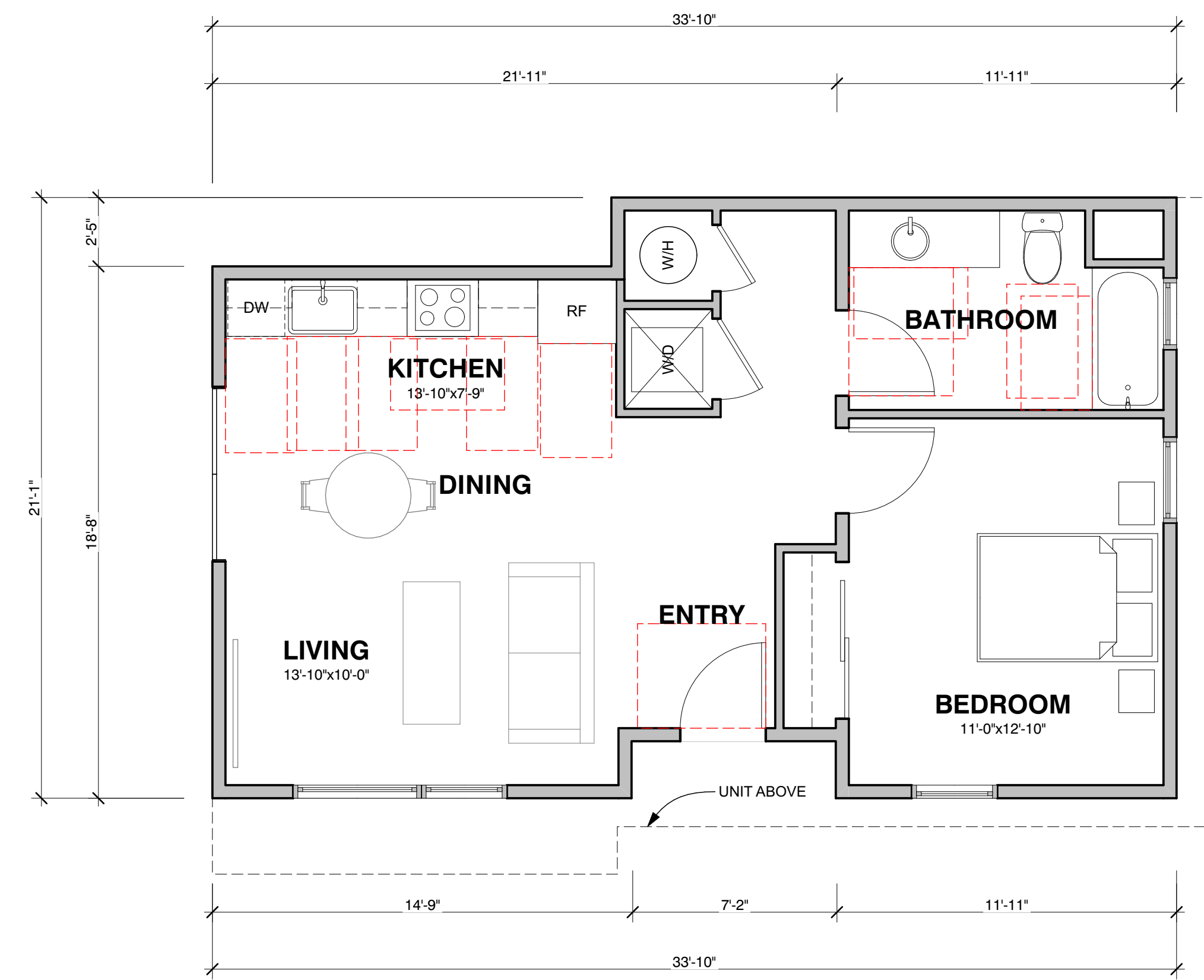
job no.
2134
date

8/17/2022	PRE APPLICATION SET
2/25/2023	DRP SUBMITTAL I
6/13/2023	DRP SUBMITTAL II

sheet
A6-1

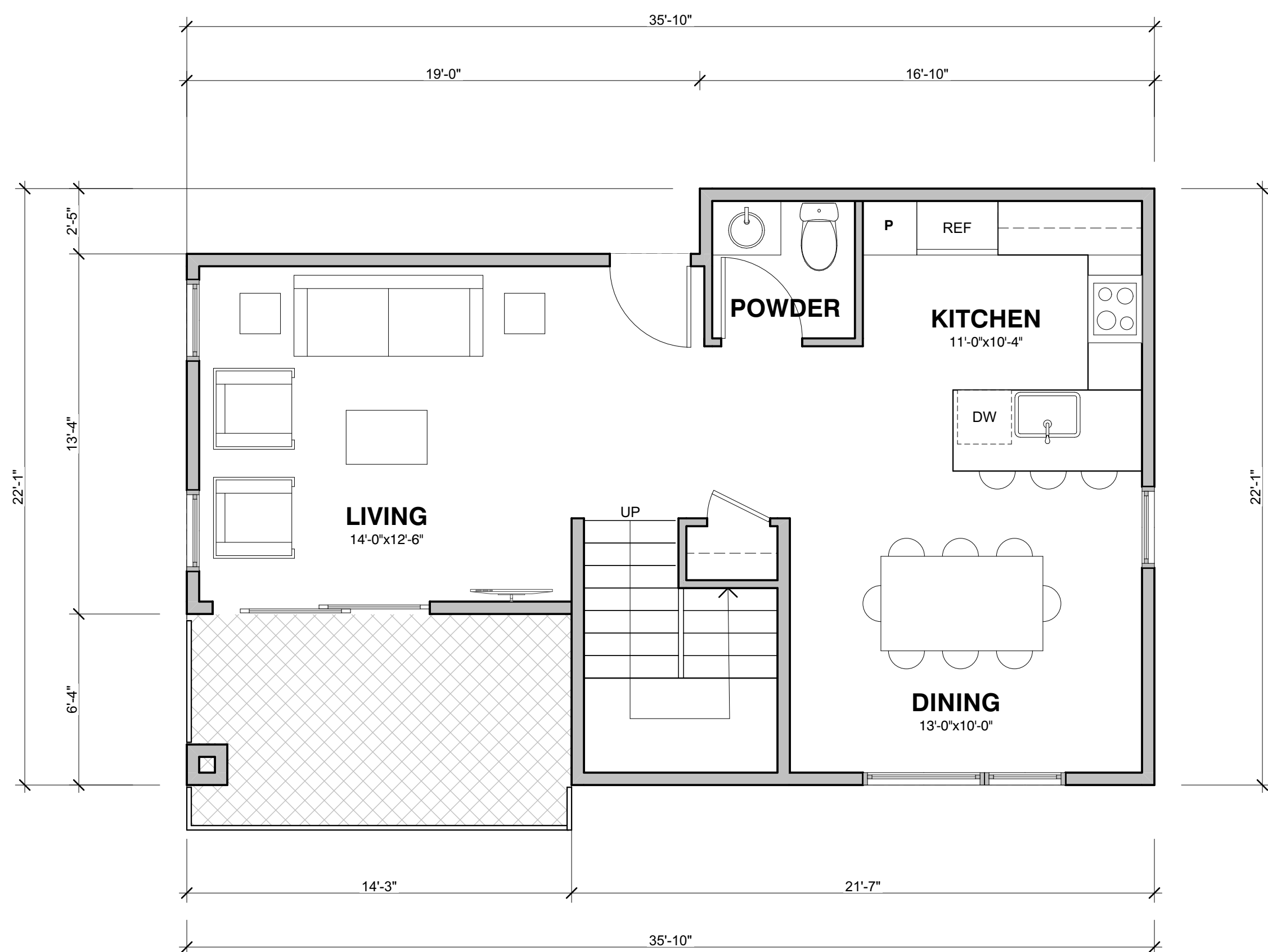


3 UNIT D - 3RD FLOOR
SCALE: 1/4" = 1'-0"



1 UNIT C
SCALE: 1/4" = 1'-0" ADAPTABLE UNIT

UNIT C
FIRST FLOOR 665 SF
TOTAL SF 665



2 UNIT D - 2ND FLOOR
SCALE: 1/4" = 1'-0"

UNIT D
THIRD FLOOR 730 SF
SECOND FLOOR 655 SF
TOTAL 1385 SF

WALL LEGEND

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



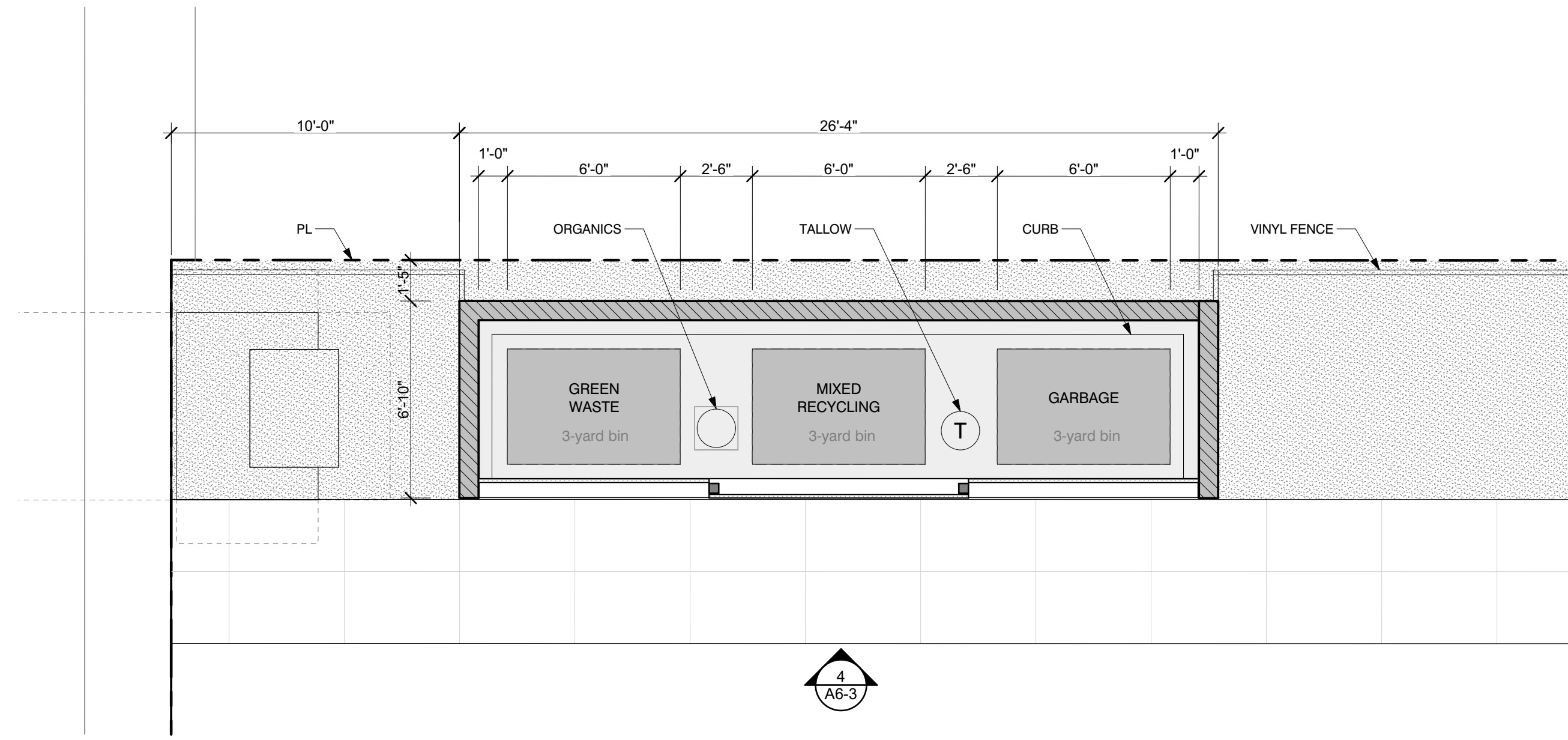
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sd
ARCHITECTS

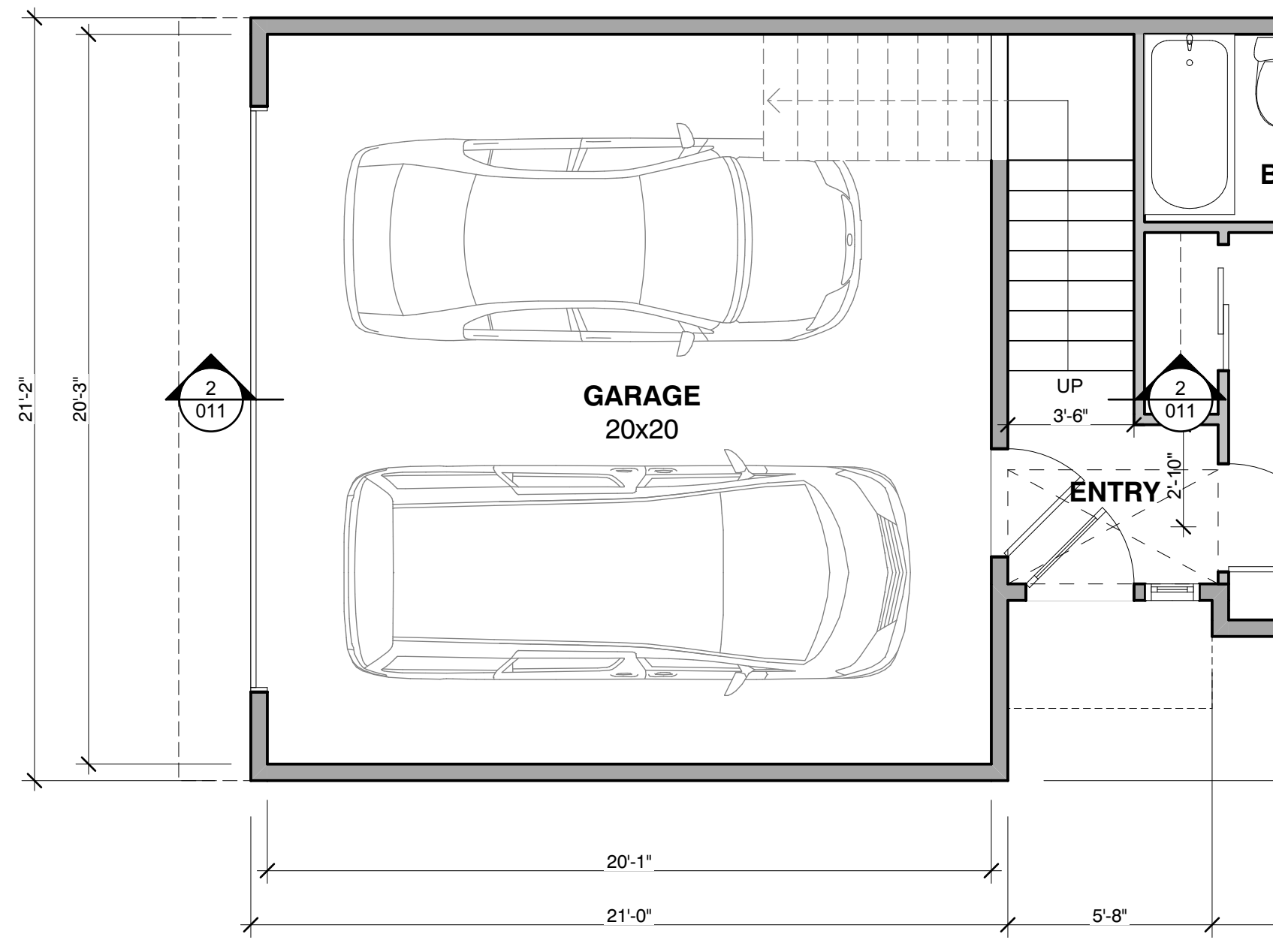
job no. **2134**
date

8/17/2022 PRE APPLICATION SET
2/25/2023 DRP SUBMITTAL I
6/13/2023 DRP SUBMITTAL II

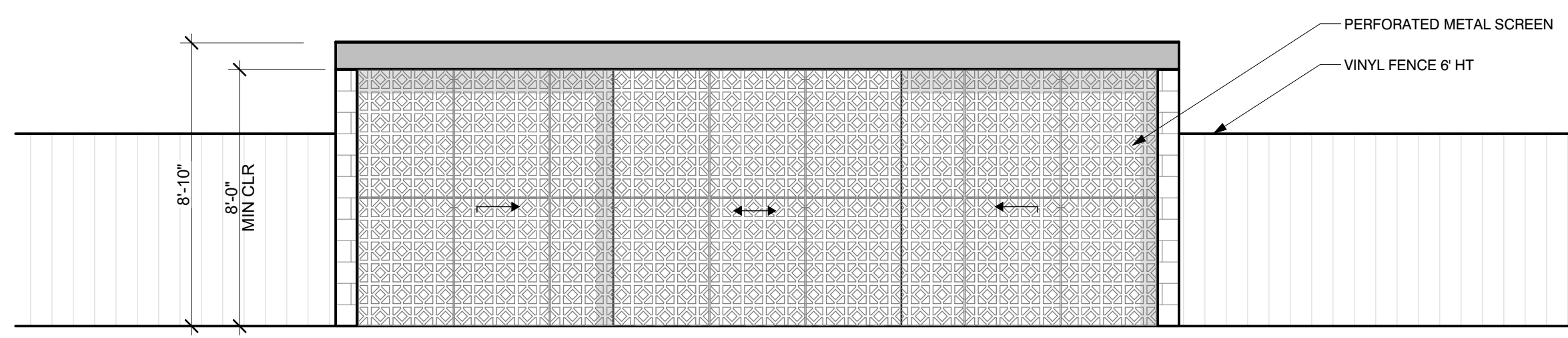
sheet **A6-2**



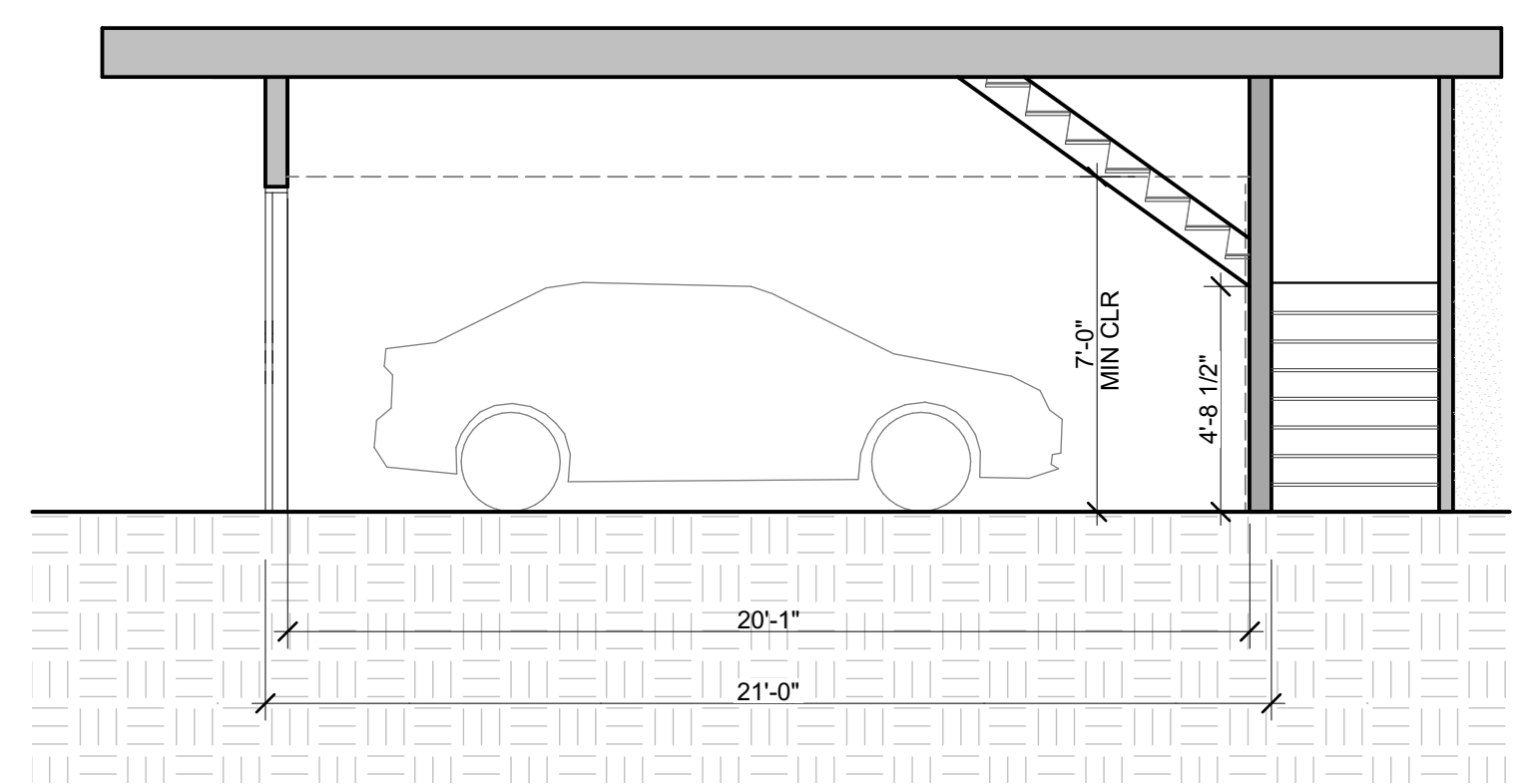
3 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



1 GARAGE PLAN
SCALE: 1/4" = 1'-0"



4 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

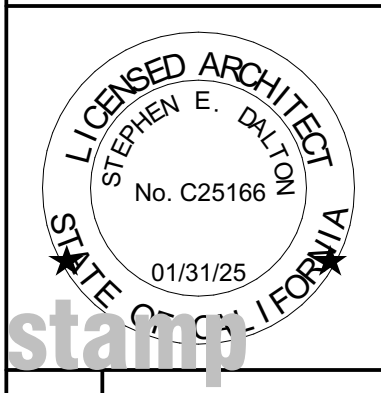


2 GARAGE SECTION
SCALE: 1/4" = 1'-0"

WALL LEGEND

	CMU WALL
	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title
HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



ENLARGED PLANS
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



job no. **2134**
date

8/17/2022 PRE APPLICATION SET
2/25/2023 DRP SUBMITTAL I
6/13/2023 DRP SUBMITTAL II

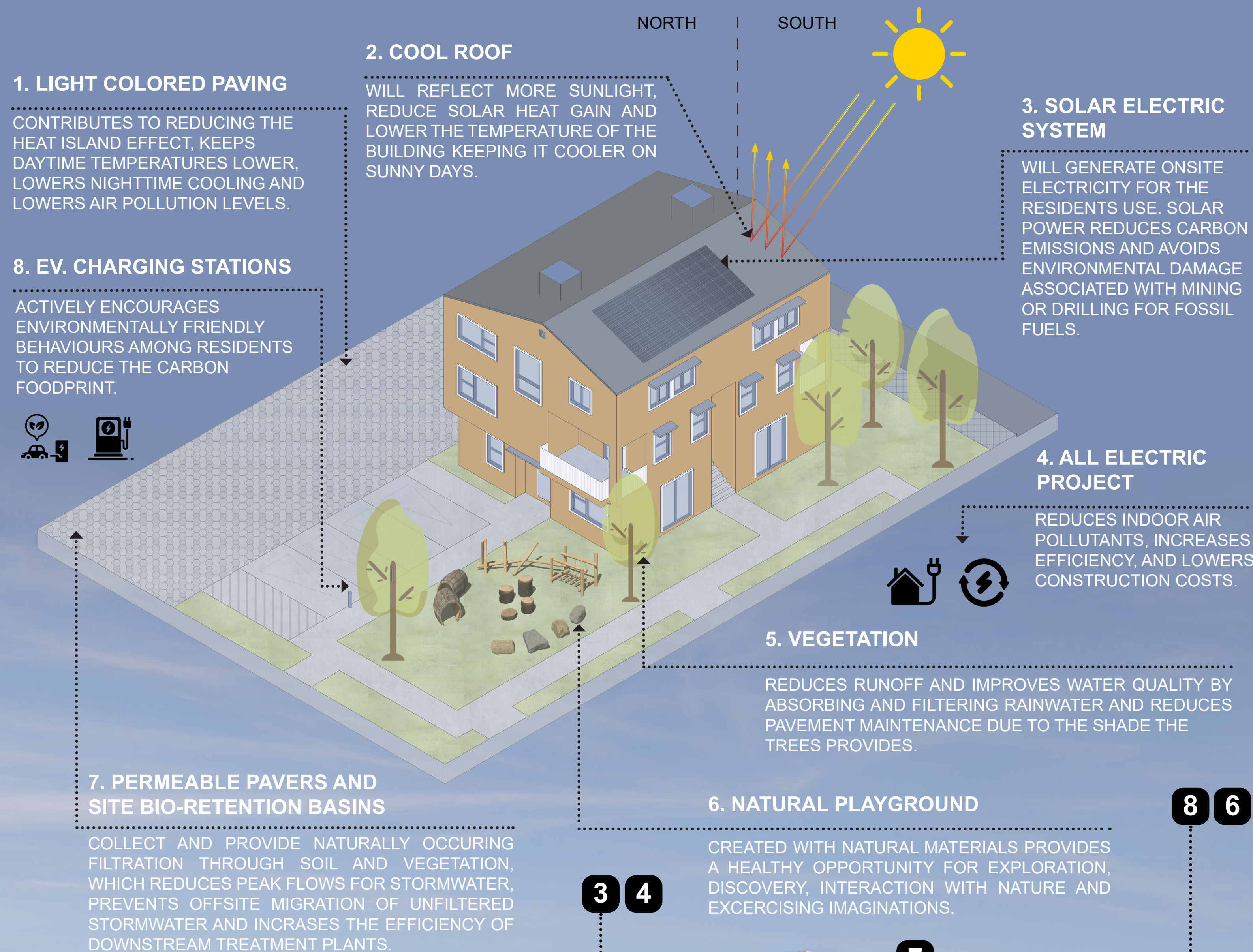
sheet **A6-3**

DAISY COMMONS

A HABITAT FOR HUMANITY COMMUNITY



SUSTAINABILITY DIAGRAM | 8932 1ST STREET, SANTEE CA 92071



9. THERMAL CHIMNEY

THE OPEN STAIR CORE WILL ALLOW HOT AIR TO EXHAUST OUT THE TOP OF THE RESIDENCE PULLING COOL AIR IN BELOW AT EACH LEVEL.

10. CROSS VENTILATION

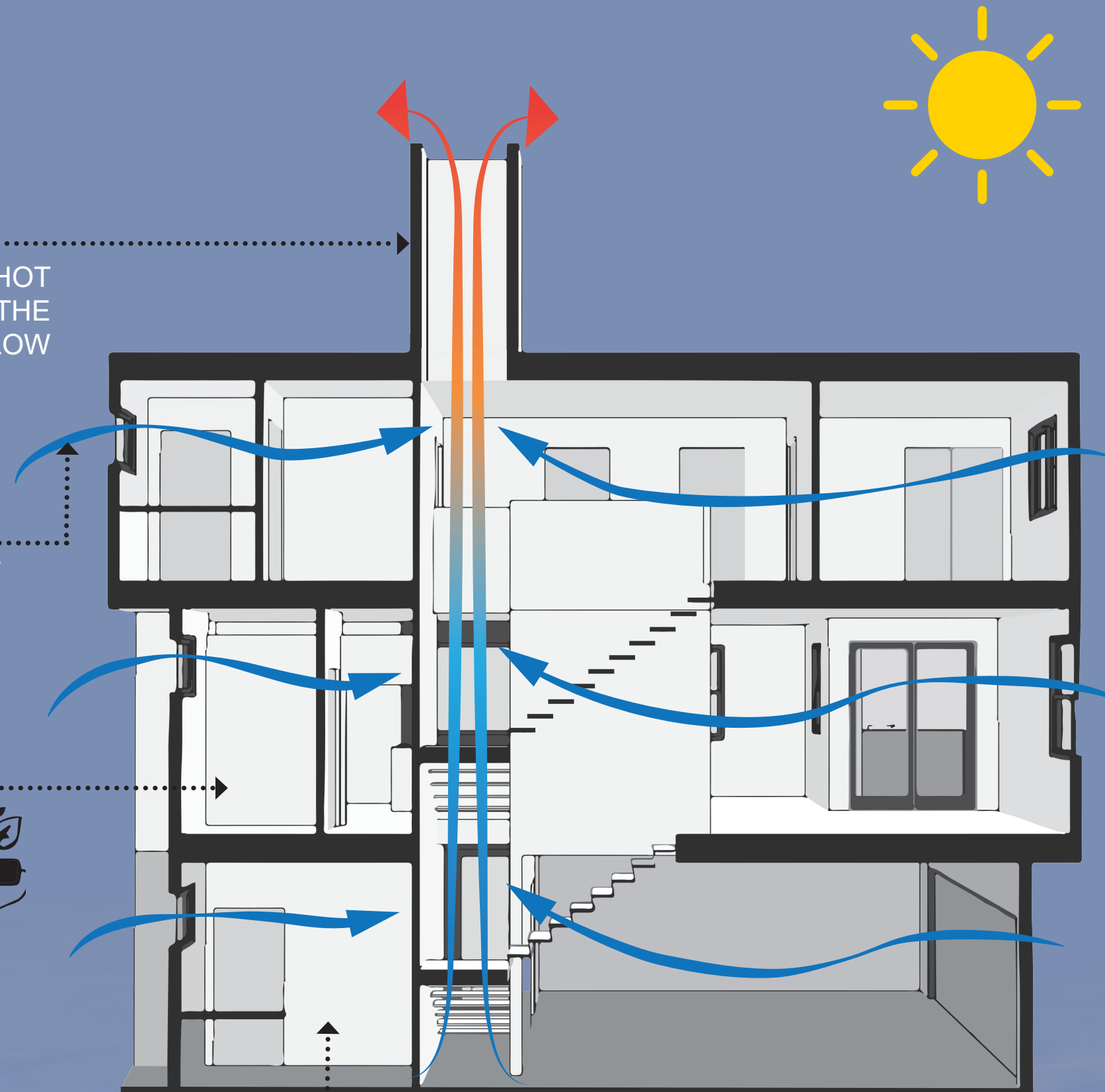
OPERABLE WINDOWS WILL ASSIST WITH AIR FLOW, HEAT EXHAUST, AND PROVIDE OCCUPANT COMFORT.

11. VOC FREE MATERIALS

WILL IMPROVE INDOOR AIR QUALITY, HELP REDUCE UTILITY AND MAINTENANCE COSTS, AND PROMOTE BETTER HEALTH AND QUALITY OF LIFE.

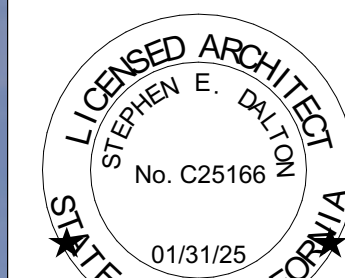
12. FACTORY FABRICATED PANELIZED CONSTRUCTION

WILL MINIMIZE CONSTRUCTION WASTE, IMPROVE CONSTRUCTION QUALITY AND INCREASE CONSTRUCTION SPEED.



project title

HABITAT SANTEE
8932 1ST ST. SANTEE, CA 92071



SUSTAINABILITY DIAGRAM

Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



job no. **2134**
date

8/17/2022
PRE APPLICATION SET
2/25/2023
DRP SUBMITTAL I
6/13/2023
DRP SUBMITTAL II

sheet **A6-4**

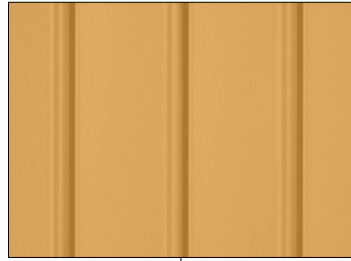
PANEL SIDING
MANUF: JAMES HARDIE
PAINTED: DE5773 STONE SILVER



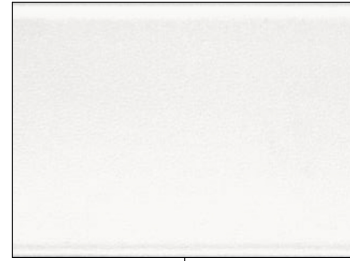
PAINT
MANUF: DUNN EDWARDS
COLOR: DE6377 BOAT ANCHOR



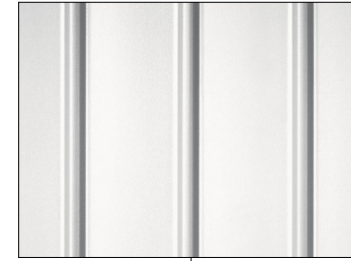
PANEL SIDING
MANUF: JAMES HARDIE
PAINTED: DE5242 BEESWAX



TRIM BOARDS
MANUF: JAMES HARDIE
COLOR: ARTIC WHITE



PANEL SIDING
MANUF: JAMES HARDIE
COLOR: ARTIC WHITE



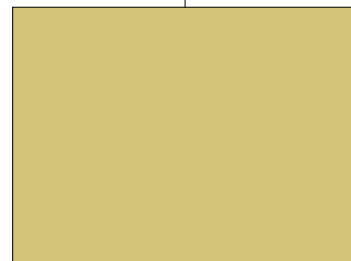
ASPHALT ROOF
MANUF: OWENS CORNING, COOL ROOF COLLECTION
COLOR: SIERRA GRAY



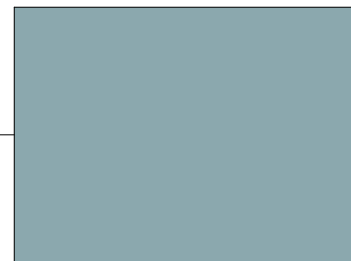
SHINGLE SIDING
MANUF: JAMES HARDIE
COLOR: ARTIC WHITE



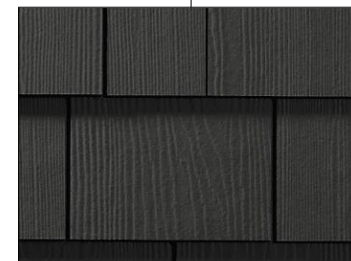
PAINT
MANUF: DUNN EDWARDS
COLOR: DE5773 STONE SILVER



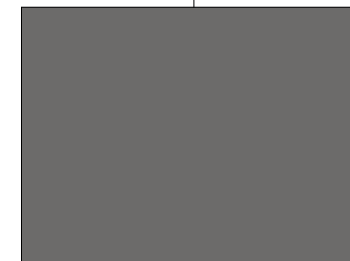
PAINT
MANUF: DUNN EDWARDS
COLOR: DE5486 TROPICAL MOSS



PAINT
MANUF: DUNN EDWARDS
COLOR: DE5773 STONE SILVER



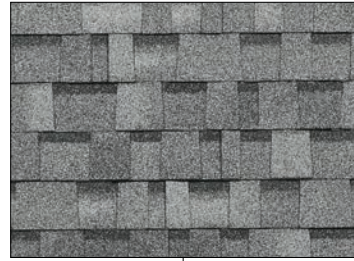
SHINGLE SIDING
MANUF: JAMES HARDIE
PAINTED: DE6377 BOAT ANCHOR



TRIM BOARDS
MANUF: JAMES HARDIE
PAINTED: DE6377 BOAT ANCHOR



ASPHALT ROOF
 MANUF: OWENS CORNING, COOL ROOF COLLECTION
 COLOR: SIERRA GRAY



PANEL SIDING
 MANUF: JAMES HARDIE
 PAINTED: DE5486 TROPICAL MOSS



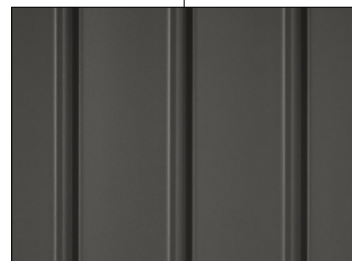
TRIM BOARDS
 MANUF: JAMES HARDIE
 PAINTED: DE6377 BOAT ANCHOR



PAINT
 MANUF: DUNN EDWARDS
 COLOR: DE6377 BOAT ANCHOR



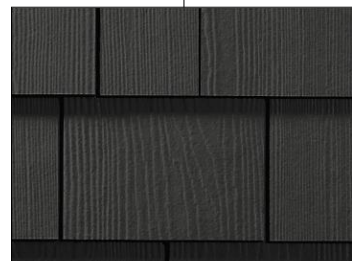
PANEL SIDING
 MANUF: JAMES HARDIE
 PAINTED: DE5773 STONE SILVER



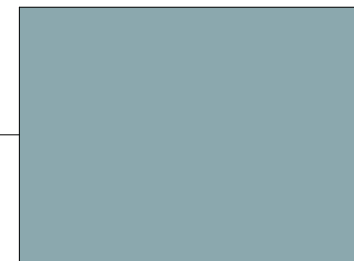
PANEL SIDING
 MANUF: JAMES HARDIE
 PAINTED: DE6377 BOAT ANCHOR



SHINGLE SIDING
 MANUF: JAMES HARDIE
 COLOR: ARTIC WHITE



SHINGLE SIDING
 MANUF: JAMES HARDIE
 PAINTED: DE6377 BOAT ANCHOR



PAINT
 MANUF: DUNN EDWARDS
 COLOR: DE5773 STONE SILVER



SHINGLE SIDING
 MANUF: JAMES HARDIE
 COLOR: ARTIC WHITE



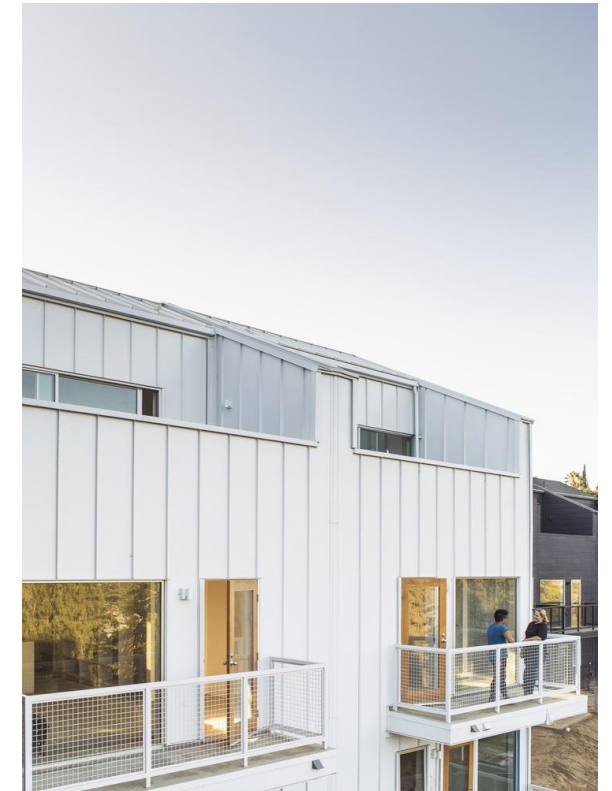
STEPHEN DALTON ARCHITECTS
 www.SDArchitects.net

HABITAT SANTEE
 COLOR AND MATERIAL BOARD

**UNIT
 A**

6/14/2023

A6-6



TOWNHOUSE PROJECT INSPIRATION

ARCHITECTS: BESTOR ARCHITECTURE
LOCATION: LOS ANGELES, UNITED STATES
AREA: 1930 ft²
YEAR: 2015

THIS CONTEMPORARY TOWNHOUSE PROJECT IN LOS ANGELOS SERVED AS AN INSPIRATION FOR OUR DESIGN. THE CLEAN ROOF TO WALL CONNECTIONS ALONG WITH THE ASYMETRICAL ROOF SLOPES CREATE A CONTEMPORARY LOOK AND FEEL. WE HAVE VARIED FROM THIS INSPRIATION HOWEVER BY BREAKING UP THE MASS OF THE UNITS WITH POP OUTS AND RECESSES, BUT REMAINING WITH THE SIMPLE MODERN AESTHETIC.



<https://www.archdaily.com/796713/blackbirds-bestor-architecture>



STEPHEN DALTON **ARCHITECTS**
www.SDArchitects.net

HABITAT SANTEE PHOTOGRAPHIC EXAMPLE

6/14/2023

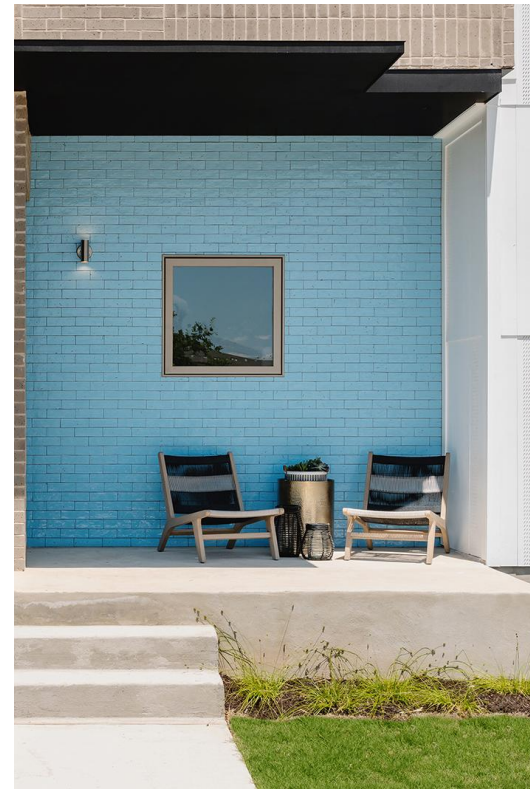
A6-7



TOWNHOUSE PROJECT INSPIRATION

DEVELOPER: HABITAT FOR HUMANITY
ARCHITECTS: MICHAEL HSU
LOCATION: AUSTIN, UNITED STATES
AREA: 1,350–1,480 ft²
YEAR: 2021

THE VARIETY AND MIXTURE OF MATERIALS IN THIS TOWNHOUSE PROJECT IN AUSTIN TEXAS ILLUSTRATES SIMILAR INTENTIONS FOR OUR DESIGN. WHILE OUR MATERIALS PALETTE IS SIMPLER, WE ARE ALTERNATING COLORS TO CREATE VARIETY AND INTEREST. WHERE POSSIBLE, WE PROVIDE A PERSONAL ENTRY FOR EACH UNIT.



STEPHEN DALTON ARCHITECTS
www.SDArchitects.net

HABITAT SANTEE PHOTOGRAPHIC EXAMPLE

6/14/2023

A6-8

PROPOSED PLANT PALETTE

SYMBOL BOTANICAL NAME COMMON NAME

- THEME STREET TREES (24" BOX MIN.)**
- PODOCARPUS GRACILIOR FERN PINE
 - PISTACIA CHINENSIS CHINESE PISTACHE
 - PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE
 - QUERCUS AGRIFOLIA COAST LIVE OAK

- MULTI TRUNK TREES (24" - 36" BOX)**
- PARKINSONIA X. 'DESERT MUSEUM' PALO VERDE
 - OLEA 'WILSONII' OLIVE SPP.
 - MAGNOLIA G. 'RUSSET' RUSSET MAGNOLIA

- THEME / SCREEN TREES (15 GAL - 24" BOX)**
- PITTOSPORUM PHILLYREOIDES WEEPING PITTOSPORUM
 - BRACHYCHITON POPULNEUS BOTTLE TREE
 - LOPHOSTEMON CONFERTA BRISBANE BOX

- ACCENT TREES (24" BOX MIN.)**
- ARBUTUS 'MARINA' ARBUTUS HYBRID
 - RHUS LANCEA AFRICAN SUMAC
 - PYRUS C. 'CHANTICLEER' ORNAMENTAL PEAR
 - CERCIS OCCIDENTALIS WESTERN REDBUD

- PALM TREES (8' - 10' BTH)**
- PHOENIX DACTYLIFERA DATE PALM
 - WASHINGTONIA ROBUSTA MEXICAN FAN PALM

- PATIO ACCENT TREES (100% - 15 GAL)**
- RHAPHIOLEPIS I. 'MAJESTIC BEAUTY' INDIAN HAWTHORN
 - LIGUSTRUM JAPONICUM JAPANESE PRIVET
 - PRUNUS C. 'BRIGHT N TIGHT' FLOWERING PLUM VAR.

COMMON H.O.A. AREA SHRUBS / VINES / GROUNDCOVER
(40% 5 gal, 60% 1 gal. min, with flatted groundcover) such as:

- ALOE 'BLUE ELF' DWARF HYBRID ALOE
- AGAVE 'BLUE FLAME' AGAVE
- ALOE STRIATA CORAL ALOE
- ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE
- BUXUS SPP. BOXWOOD SPP.
- DIETES SPP. FORTNIGHT LILY
- BOUGAINVILLEA SPP. BOUGAINVILLEA - N.C.N.
- CALLISTEMON 'LITTLE JOHN' BOTTLE BRUSH SPP.
- DIANELLA 'LITTLE REV' DAYLILY SPP.
- DODONEA V. 'PURPUREA' FLAX LILY VAR.
- ELAEAGNUS P. 'VARIEGATA' HOPSEED BUSH
- GREVILLEA LANIGERA ELAEAGNUS P. 'VARIEGATA' - N.C.N.
- GAZANIA SPP. GREVILLEA - N.C.N.
- GELSEMIUM SEMPERVIRENS GAZANIA - N.C.N.
- JUNIPERUS SPP. CAROLINA JESSAMINE
- PITTOSPORUM SPP. JUNIPERUS SPP.
- RAPHIOLEPIS SPP. PITTOSPORUM SPP.
- LIGUSTRUM J. 'TEXANUM' RAPHIOLEPIS - N.C.N.
- PHORMIUM SPP. JAPANESE PRIVET
- TRACHELOSPERMUM JASMINOIDES NEW ZEALAND FLAX SPP.
- ROSMARINUS SPP. STAR JASMINE
- SALVIA LEUCANTHA ROSEMARY SPP.
- SALVIA GREGGII LAVENDER SAGE
- UNCARIA TOMENTOSA AUTUMN SAGE
- CATS CLAW

- BIO-FILTRATION PLANTERS - BMP (50% - 5 GAL/ 50% 1 GAL)**
- CAREX PRAEGRACILLAS CALIFORNIA FIELD SEDGE
 - JUNCUS PATENS CALIFORNIA GRAY RUSH
 - LOMANDRA CONFERTIFOLIA 'POM POM' SHORTY MAT RUSH

LANDSCAPE REQUIREMENTS (17 D.U./ 2 TREES EACH MIN.)
(8) 15 GALLON TREES - MINIMUM
(26) 24" BOX TREES - MINIMUM

AMENDED SOIL AREA (11" MIN. DEPTH)

FENCED PRIVATE AREA - 219 SF

TREE AND TREE WELL LIMITS (SEE CIVIL SHEET C-2.0)

OWNER
SAN DIEGO HABITAT FOR HUMANITY
8123 MERCURY COURT
SAN DIEGO, CA 92111

ASSESSORS PARCEL NUMBER
384-106-16

SHEET INDEX
SHEET LP-01
SHEET LP-02

TOPOGRAPHY SOURCE
PREPARED BY PASCO, LARET, SUITER, & ASSOCIATES
1911 SAN DIEGO AVE. SUITE 100 SAN DIEGO, CA 92110
VIA TOPOGRAPHIC FIELD SURVEY
DATED: 09/29/2021

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON A 3" BRASS DISC IN M-10 AS STATION 2116 SANTEE CITY CONTROL.
EL = 349.92' (NAD83).

LEGAL DESCRIPTION
LOTS 1, 2, 3 IN BLOCK 10 OF SANTEE IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NUMBER 1484 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, OCTOBER 14, 1912. ALSO THAT PORTION OF THE SOUTH 15 FEET OF PARK AVENUE ADJOINING THE AFORESAID PREMISES ON THE NORTH, AS VACATED ON MARCH 6, 1917 BY RESOLUTION OF SAN DIEGO RECORDED IN BOOK 751 PAGE 31 OF DEEDS, (BEING MORE PARTICULARLY DESCRIBED IN DOCUMENT NUMBER 2006-0659567 O.R.



TOTAL SITE SF: 28,490
REQ. LANDSCAPE SF: 5,698
PROV. LANDSCAPE SF: 6,846



CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION	DET./ SHT. #
1	CONCRETE SIDEWALK PER CIVIL PLANS - TYP.	
2	COMMON AREA W/ PALM TREES + TABLES	M / LP-02
3	CURB & GUTTER PER CIVIL PLANS - TYP.	
4	CONCRETE DRIVEWAY APRON PER CIVIL PLANS - TYP.	
5	EXISTING OR PROPOSED IRRIG. WATER METER & RP DEVICE - (RECYCLED IRRIG. WATER NOT REQUIRED PER PADRE DAM MWD)	
6	ADA PARKING STALL, SIGNAGE & LOADING ZONE PER CIVIL PLANS BY OTHERS - TYP.	
7	PROPOSED TRASH ENCLOSURE - SEE CIVIL & ARCHITECTURE PLANS	
8	PROPOSED TRANSFORMERS - SEE CIVIL PLANS	
9	OPTIONAL PERMEABLE PAVING, FINISH PER PLAN - DET AND SOIL INFO PER CIVIL PLANS (USE BELGARD OR EQUAL) SEE #1	A / LP-02
10	PROPOSED 6' HT. VINYL FENCE (TAN COLOR) - TYP. SYM.	L / LP-02
11	COMMUNITY BENCHES - TYP. SYM. (6 TOTAL)	G / LP-02
12	BUILDING SETBACK LINE PER CIVIL PLANS	
13	COMMON PLANTER AREA - TREES, SHRUBS AND GROUND COVERS SHALL BE PREPARED WITH A MIN. OF 11" AMENDED SOILS AS REQUIRED.	
14	EXISTING OAK TREE - COORDINATE TREE HEALTH WITH ARBORIST (MOST LIKELY NEEDS TO BE REMOVED)	
15	BIOFILTRATION PLANTER AREA - TYP. (9 OF VARIOUS SIZES)	
16	MAILBOXES & PARCEL LOCKERS PER USPS (INCLUDE LIGHTING)	
17	SINGLE AND TOWNHOUSE UNITS PER ARCH. PLANS - TYP.	
18	TRASH / RECYCLE RECEPTACLES (2 OF EACH W/ BLACK & BLUE LIDS)	D / LP-02
19	FIRES PRINKLER RISER CABINET PER ARCHITECTURE PLANS - TYP.	
20	NARROW PLANTERS IN PAVERS - TYP.	
21	FESTOON LIGHTING OVER COMMON AREA PER ARCHITECT	F / LP-02
22	TOT-LOT - OUTDOOR LEARNING ENVIRONMENTS W/ ACCESSIBLE "FIBAR" FALL ZONE MULCH - PDPLAY.COM	H,J,K / LP-02
23	DECORATIVE LIGHT POLES - (3) TYP. SYM.	C / LP-02
24	AC UNIT CONDENSER W/ LANDSCAPE SCREENING - TYP.	
25	ELECTRIC VEHICLE CHARGING STATION - PER ARCHITECTURE PLANS	
26	DOGIPOT PET WASTE STATION (2)	B / LP-02
27	BIKE RACK - (5) WAVE BIKE RACK - STAINLESS STEEL - #CBBR-5UR-SS. AVAIL. @ BELSON OUTDOORS 1-800-323-5664	E / LP-02

WATER EFFICIENT LANDSCAPE WORKSHEET

Project Reference Evapotranspiration (Eto) 51.1

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
1	0.3	Drip	0.81	0.37	6,286.00	2328.15	73,760.39	
2	0.4	Bubbler	0.75	0.53	560.00	298.67	9,462.36	
					Totals	6,846.00	2,626.81	83,222.75
							ETWU Total	83,222.75
							MAWA	97,602.74

Notes:
1. Irrigation Efficiency - 0.75 Spray Head, 0.81 Drip
2. ETWU = Annual Gallons Required = (Eto * 0.62 * ETAF * Area)
3. MAWA = Annual Gallons Allowed = (Eto) (0.62) [(ETAF*LA)+(1-ETAF)*SLA]

ETAF Calculations

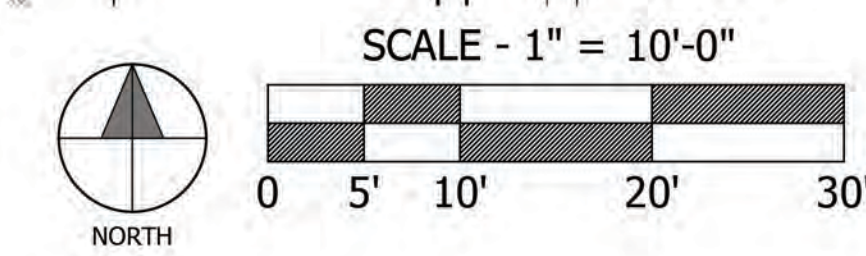
Regular Landscape Areas	
Total ETAF x Area	2,626.81
Total Area	6,846.00
Average ETAF	0.38

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

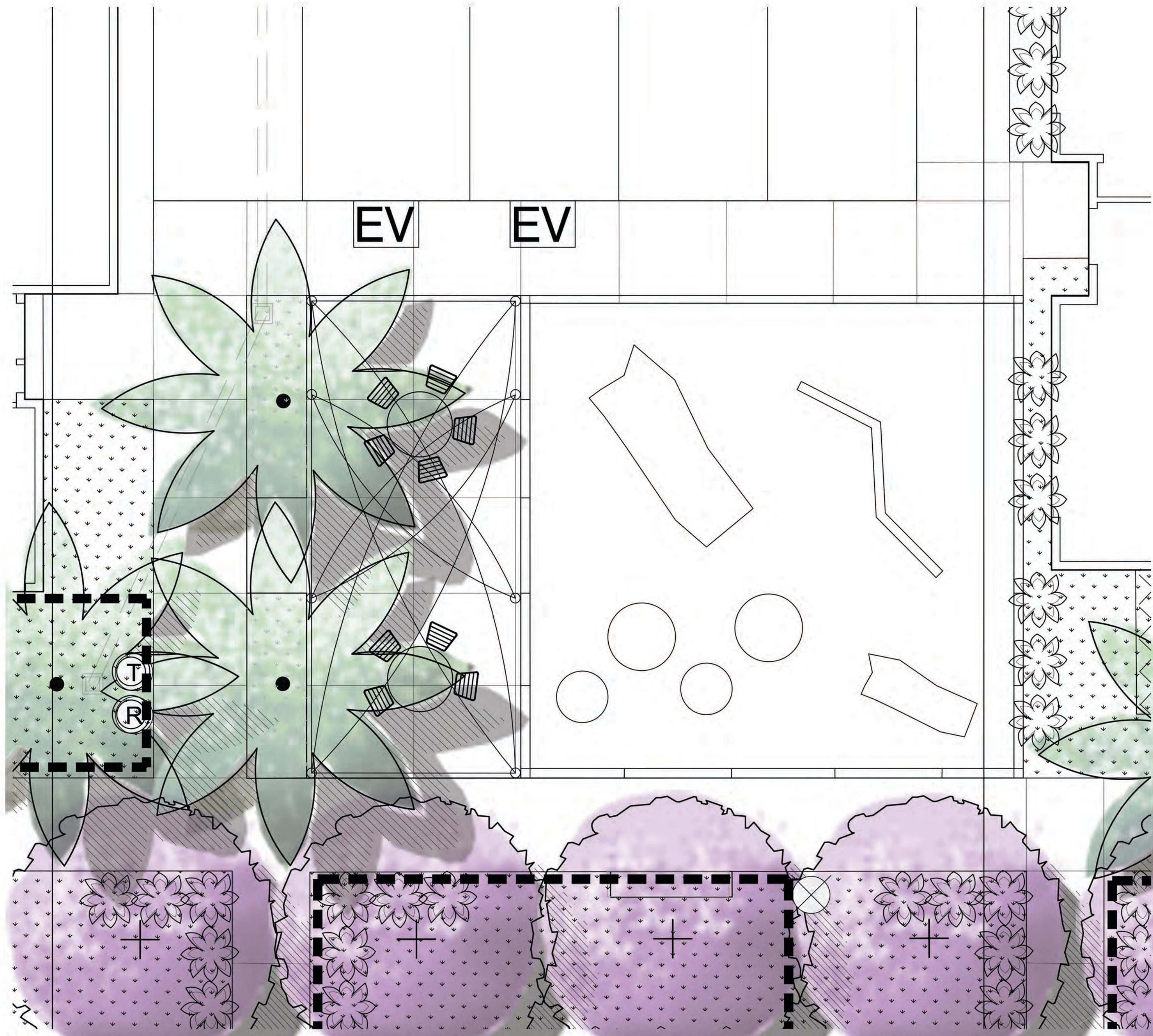
All Landscape Areas	
Total ETAF x Area	2,626.81
Total Area	6,846.00
Average ETAF	0.38

LANDSCAPE ARCHITECTURE + PLANNING + CONSTRUCTION MANAGEMENT
28924 OLD TOWN FRONT STREET, SUITE 202 TEMECULA, CA 92590
P (619) 742-0209 F (619) 713-5905
EMAIL - JOMALLEY@W-D-G.COM
CORPORATE OFFICE
291 SIERRA WAVE SWALL MEADOWS, CA 93514

JN 22-027 - DATE: AUGUST 16, 2022
JN 22-027 - DATE: FEBRUARY 17, 2023
JN 22-027 - DATE: MARCH 07, 2023
JN 22-027 - DATE: JUNE 6, 2023



HABITAT SANTEE 17 UNIT CONCEPT PLAN
HABITAT FOR HUMANITY - SAN DIEGO



OPEN SPACE AREA ENLARGEMENT - REFER TO CONST. LEGEND SCALE: 1/4" = 1'-0"



W.D.C.
 LANDSCAPE ARCHITECTURE + PLANNING + CONSTRUCTION MANAGEMENT
 28924 OLD TOWN FRONT STREET, SUITE 202 TEMECULA, CA 92590
 P (619) 742-0209 F (619) 713-5905
 EMAIL - JOMALLEY@W-D-G.COM
 CORPORATE OFFICE
 291 SIERRA WAVE SWALL MEADOWS, CA 93514